

**BERRYVILLE TOWN COUNCIL
MEETING AGENDA
Regular Meeting
Berryville-Clarke County Government Center
101 Chalmers Court, Second Floor
Main Meeting Room
Tuesday, July 10, 2018
7:30 p.m.**

<u>Item</u>	<u>Attachment</u>
1. Call to Order – Patricia Dickinson, Mayor	
2. Pledge of Allegiance	
3. Approval of Agenda	
4. Public Hearings	
No hearings scheduled	
5. Citizens' Forum	
6. Consent Agenda	1↓
Motion	
Minutes of Regular Meeting – 06/12/18	
Minutes of Continued Meeting – 06/22/18	
Minutes of Town Council Work Session - 07/2/18	
7. Report of Patricia Dickinson, Mayor	
Resolutions of Appreciation	2↓
8. Report of Harry Lee Arnold, Jr., Recorder	
Town Brochures/Mailers	3
9. Report of Christy Dunkle, Asst. Town Manager for Community Development	
Monthly report	4
10. Report of Keith Dalton, Town Manager	
ATT Lease / Northwest elevated water tank	5

<u>Item</u>	<u>Attachment</u>
11. Report of Erecka Gibson – Chair, Budget and Finance Committee	
Report of Desiree Moreland, Treasurer	6
2012 Personal Property Tax Charge Off	7↑
Delinquent Tax List for publication	8↓
12. Report of Kara Rodriguez – Chair, Community Improvement and Economic Development Committee	
13. Report of Donna McDonald – Chair, Public Safety Committee	
Report of Neal White, Chief of Police	9
14. Report of Diane Harrison – Chair, Streets and Utilities Committee	
Report of David Tyrrell, Public Utilities Director	10↑
Report of Rick Boor, Public Works Director	11
15. Report of Harry Lee Arnold, Jr. – Chair, Personnel, Appointments and Policy Committee	
16. Other	
17. Closed Session – No closed session scheduled.	
18. Adjourn -	

Attachment 1

MINUTES
BERRYVILLE TOWN COUNCIL
Berryville-Clarke County Government Center
Regular Meeting
June 12, 2018
7:30 p.m.

Town Council: Present-Patricia Dickinson, Mayor; Harry Lee Arnold, Jr., Recorder; Donna Marie McDonald; Allen Kitselman; Erecka Gibson; David Tollett

Staff: Keith Dalton, Town Manager; Christy Dunkle, Assistant Town Manager/Planner; Desiree Moreland, Assistant Town Manager/Treasurer; Neal White, Chief of Police; Dave Tyrell, Director of Public Utilities; Mia L. Jackson, Town Clerk

Press: None

1. Call to Order
Mayor Dickinson called the meeting to order at 7:31 p.m.
2. Pledge of Allegiance
3. Approval of Agenda
On motion of Council member McDonald, seconded by Council member Kitselman, the amended agenda was approved unanimously.
4. Public Hearing
No hearings scheduled
5. Citizens' Forum
Mayor Dickinson recognized Liz Couture, Berryville resident. Ms. Couture asked for participation in VDOT's Neighborhood Traffic Calming Program for South Buckmarsh Street. Ms. Couture submitted a letter from her neighbors who are in support of the program.

Mayor Dickinson recognized Dennis Couture, Berryville resident. Mr. Couture said that he is in support of traffic calming efforts on South Buckmarsh.

Mayor Dickinson recognized Cindy Hoffmann, healthcare executive. Ms. Hoffmann would like to work with the town regarding traffic safety in downtown Berryville. Ms. Hoffman said she witnessed an accident on Main Street and would like to work with the Town to enhance the safety of Main Street. Mayor Dickinson said that either Streets & Utilities or Police & Security will be discussing the recent accident that occurred in downtown Berryville.
6. Consent Agenda
The Consent Agenda was approved on motion of Council member Tollett, seconded by Council member Kitselman. The items on the Consent Agenda were:
Minutes of Regular Meeting – 05/08/18
Minutes of Called Meeting – 05/25/2018

Minutes of Streets & Utilities Committee Meeting – 05/22/18

Aye: Kitselman, McDonald, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

7. Report of Patricia Dickinson, Mayor

Mayor Dickinson thanked the participants and patrons of the Memorial Day celebration held in the park. Mayor Dickinson thanked staff for all of their hard work in the park. Mayor Dickinson stated that she would like to give special recognition to the World War I Centennial committee members who led the planning efforts for the Memorial Day celebration. Mayor Dickinson reminded everyone about the 4th of July celebration. Mayor Dickinson reminded everyone that July 14th is Lloyd Williams Day and is a part of the World War I Centennial commemoration beginning at 10 AM with a procession at 11:30 AM.

Mayor Dickinson thanked everyone who came to the reception held prior to the Council meeting and thanked the outgoing Council members for their service and welcomed the new and re-elected Council members that will begin their term July 1, 2018.

Mayor Dickinson reviewed the World War I Centennial committee's request to Town Council asking if Town Council would agree to sponsor the event by providing insurance. Council member McDonald asked if there would be any additional costs to the Town for this event. Mr. Dalton said that staff has been in touch with the insurance provider and there would not be any additional cost for the Town to sponsor the event. Mr. Dalton noted that the food vendors would be required to name the Town of Berryville as an also insured on a certificate of insurance. **Council member Kitselman moved that the Council of the Town of Berryville agree to sponsor the World War I Commemorative event to include the Lloyd Williams Day Parade and continued celebration in Rose Hill Park on July 14, 2018. Recorder Arnold seconded the motion.**

Aye: Kitselman, McDonald, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

8. Report of Harry Lee Arnold, Jr, Recorder

Recorder Arnold asked for an update regarding the Town's informational brochure. Mr. Dalton said that staff will provide a draft in July.

9. Report of Christy Dunkle, Asst. Town Manager for Community Development

Ms. Dunkle reviewed her staff report included in the agenda packet.

Council member Gibson moved that the Council of the Town of Berryville approve the attached resolution establishing an Urban Development Area for the Town of Berryville in accordance with Code of Virginia requirements. Council member Kitselman seconded the motion.

Aye: Kitselman, McDonald, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

RESOLUTION

URBAN DEVELOPMENT AREAS (UDAs)

- WHEREAS, §15.2-2223.1 of the Code of Virginia, referred to herein as the Urban Development Areas (UDA) law, states that any locality may amend its comprehensive plan to incorporate one or more UDA; and
- WHEREAS, “urban development areas” are defined as areas that are appropriate for higher density development as defined in the statute and incorporate principles of traditional neighborhood development (TND), which may include, but are not limited to, mixed-use neighborhoods, mixed housing types, pedestrian-friendly road design, street connectivity, reduction of subdivision street widths and turning radii at subdivision street intersections, reduction of front and side yard building setbacks, and preservation of natural areas; and
- WHEREAS, in order to fulfill this requirement, localities that meet the criteria must either amend their comprehensive plans to incorporate urban development areas or adopt a resolution certifying that the comprehensive plan accommodates growth in a manner consistent with the UDA law; and
- WHEREAS, the proposed UDA designated boundary for the Town of Berryville, as illustrated in Exhibit 1, is consistent with the intent of Virginia Code §15.2-2223.1; and
- WHEREAS, the Town of Berryville’s approved 2005 Comprehensive Plan is also consistent with the intent of Virginia Code §15.2-2223.1, by promoting the concepts and ideas of traditional neighborhood development (TND) and design principles set forth in the UDA law and referenced above; and
- WHEREAS, the approved 2005 Comprehensive Plan specifically references in its goals and objectives under land use, transportation, environment, economic

development, and urban design, as included in Exhibit 2, illustrate that the Town currently meets the intent of Virginia Code §15.2-2223.1; and

NOW, THEREFORE, BE IT RESOLVED that the Town Council of Berryville, Virginia, hereby certifies that the approved 2005 Comprehensive Plan, accommodates growth in a manner consistent with the provisions set forth in Section 15.2-2223.1 of the Code of Virginia and meets the requirements of traditional neighborhood development (TND) through the proposed UDA boundary.

Exhibit 1: Proposed Town of Berryville UDA Boundary

Exhibit 2: Examples of 2005 Comprehensive Plan Consistency with the Intent of UDAs

By Order of the Council of the Town of Berryville on this the twelfth day of June, 2018.

Patricia Dickinson, Mayor

Harry Lee Arnold, Jr., Recorder

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Council member Gibson moved that the Council of the Town of Berryville approve the reduction of public improvement bonds for the Berryville Glen Subdivision to \$76,452.00.

Council member Kitselman seconded the motion.

Aye: Kitselman, McDonald, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

10. Report of Keith Dalton, Town Manager

Mr. Dalton explained the reason for the closed session to discuss how to proceed with lease negotiations specific to the Northwest elevated water tank. He said that AT&T is interested in amending the current lease.

Mr. Dalton reviewed the contract terms between the Town and Republic Services for refuse and recycling services. Mr. Dalton said that Republic Services and the Town have a good working relationship and they often go above and beyond expectations. Mr. Dalton said staff is looking to exercise the second of its permissible one year extensions for a 2.21 increase from Republic Services. He said the contract would be rebid in the spring of 2020. **Recorder Arnold moved that the Council of the Town of Berryville approve a one-year extension to the Garbage and Refuse Collection/Disposal and Curbside Recycling Collection Services Contract with Republic Services which would extend the contract in question from July 1, 2018 to June 31, 2019 and further**

move that the Council authorize the Town Manager to execute any and all instruments required for this one-year contract extension. Council member Kitselman seconded the motion. Mayor Dickinson asked if the code revisions will affect the current contract. Mr. Dalton said staff is not in a position to make changes to the contract as the code changes are being reviewed.

Aye: Kitselman, McDonald, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

11. Report of Erecka Gibson - Chair, Budget and Finance Committee

Council member Gibson moved that the Council of the Town of Berryville adopt the proposed Budget for Fiscal Year 2018-2019, an approved copy of which shall be incorporated into and become part of the Official Minutes of this meeting, and further, that all funds as set forth in the approved budget shall hereby be appropriated for Fiscal Year 2018-2019. Council member McDonald seconded the motion.

Aye: Kitselman, McDonald, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

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Council member Gibson said there will not be a Budget & Finance Committee meeting in June.

12. Report of Donna McDonald - Chair, Community Improvements Committee

Council member McDonald said there will not be a committee meeting in June.

13. Report of David Tollett – Police and Security Committee

Council member Tollett said there will not be a committee meeting in June.

Chief White said that an informational meeting is being held regarding the EMS billing system tomorrow night at 6pm at John H. Enders Fire Company.

14. Report of Patricia Dickinson – Chair, Streets and Utilities Committee

Mayor Dickinson directed attention to the VDOT Neighborhood Traffic Calming Program concerning South Buckmarsh and the need for approval by Town Council to be able to move to step two of the program. Mayor Dickinson said that she spoke to Ed Carter at VDOT and he suggested that the Town move forward with the request. Council member Gibson asked who is on the task force. Mayor Dickinson asked Ms. Couture to please come to the podium as a representative of the task force. Ms. Couture said that she believes that twenty five families have signed a petition and they have ten or eleven representatives on the task force. Council member Kitselman suggested including planning department staff in the discussions. Mayor Dickinson said it is not a requirement of the program to have planning staff included in the discussion but it is a best practice. Council member Gibson asked if the ten members of the task force could be identified. Council member Gibson also asked what the ultimate goal of the task force is. Ms. Couture said they would like to see installation of speed signs, a plan developed for entry monumentation, and installation of a speed monitor.

Council member Gibson asked staff for their thoughts on the traffic calming guide. Ms. Dunkle referenced staff's report that outlined some of the considerations from staff when looking at the program. Council member Gibson noted that some of the options in the guide could possibly increase noise. She said she also had a concern regarding the additional costs to the Town. Mr. Dalton said the goal of staff is to continue to work with VDOT and to address all areas of concern throughout Town. Recorder Arnold asked if all streets in Town qualify to participate in the program. Mayor Dickinson said that only VDOT maintained streets qualify. Council member McDonald asked about the number of speeding tickets issued on South Buckmarsh. Chief White said approximately forty speeding tickets are issued in a six month period by rough calculation. Council member McDonald inquired about the cost of the program to the Town, including staff time. Mayor Dickinson said that may be a question for after the design is proposed. Ms. Couture said that funding is 80 / 20, 80% would be absorbed by VDOT and 20% would be the Town. Ms. Dunkle noted that communication and information sharing with Town staff regarding the program is extremely helpful to all involved. Council member McDonald said that her concern is what the cost will ultimately be for the Town and that Council is focusing on one section of Town. Council member Kitselman said that East Main is as important as South Buckmarsh and in his view this should be a parallel path. **Council member Kitselman moved that the Council of the Town of Berryville approve moving to step two of the traffic calming neighborhood guide which consists of a traffic study paid for by VDOT. Recorder Arnold seconded the motion.** Recorder Arnold asked that any documents that are available be forwarded to Council so that Council can make an informed decision. Council member McDonald and Recorder Arnold said that this discussion needs to happen at Council level as opposed to committee level.

Aye: Kitselman, Gibson, Tollett, Arnold

Nay: McDonald

Abstain: Dickinson

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Chief White presented the radar feedback signs document that was reviewed at the May meeting of the Streets & Utilities Committee. He said that the parameters for the proposed signs are as follows: affixed to an existing pole with an option to be moved; display size between 11 and 13 inches in height (federal highway systems compliant); ability to collect traffic data; and solar powered. Chief White's recommendation is the Traffic Logix sign based on price and comparable features. Mayor Dickinson said that Streets & Utilities committee recommends putting a sign in both directions on South Buckmarsh and one headed into Town on East Main off of the Route 7 bypass. Recorder Arnold said that he thought it would be more useful to install a sign coming in to Town as opposed to going out of Town on South Buckmarsh. Mr. Dalton said the signs are a budgeted item and that the location of the signs could be decided after confirmation of how many signs could be purchased and confirmation of the parameters for the signs.

Mr. Tyrell, Public Utilities Director, reviewed the Ground Reservoir project report. Mr. Tyrell noted that there have been a few issues discovered before returning the tank to service, mainly corrosion. Suez representative, Brad Brown, said a scope of work would be able to be provided by Tuesday, June 19, 2018. Mr. Dalton said there is a need for discussion regarding all three tanks and the cost of repair. Mr. Dalton said Penonni could be brought in if Council would like to

have a second look at cost of the project. Mr. Dalton suggested that Council adjourn to a specific date to continue this discussion, specifically June 22, 2018 at 10 a.m. in the Main meeting room. Council agreed to this date and time.

15. Report of Harry Lee Arnold, Jr. – Chair, Personnel Committee

Recorder Arnold said there are spots available on the Berryville Area Development Authority, Berryville Zoning Appeals, and Tree Board. Recorder Arnold said the next Personnel committee meeting will be held July 11, 2018 at 9:00 AM.

Recorder Arnold noted the Social Media Policy would be discussed at the Personnel Committee. Mr. Dalton asked that staff be given direction regarding the archiving of any official social media sites. Mr. Dalton noted that the cost to the Town to contract with a company to provide archiving services would be roughly \$2,500.00 annually. Mr. Dalton said currently there are no official social media sites for the Town of Berryville with a Town employee as administrator. He said Mayor Dickinson operates a Facebook page that discusses Town business and uses her Town email as her contact. He said the town attorney has given the opinion that if a Council member is discussing Town business on his or her social media site it becomes the responsibility of the Town to archive the posts.

16. Other

Mr. Dalton confirmed the Committee meeting schedule as follows:

Personnel: July 11, 2018 @ 10:00 a.m.

17. Closed Session

On motion of Council Member Gibson, the Berryville Town Council entered closed session in accordance with §2.2-3711-A-3, Code of Virginia, for discussion or consideration of the disposition of publicly held real property. Council member Kitselman seconded the motion.

Aye: Kitselman, McDonald, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

Reconvene

At 10:05 p.m., the members of the Town Council being assembled within the designated meeting place in the presence of members of the public and the media desiring to attend, the meeting was reconvened. **On motion of Recorder McDonald, the Council of the Town of Berryville adopted the following resolution certifying it convened a closed meeting on this date pursuant to an affirmative recorded vote and in accordance with provision of The Virginia Freedom of Information Act. Council Member Kitselman seconded the motion with a roll call vote as follows:**

Aye: McDonald, Kitselman, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

CERTIFICATION OF CLOSED SESSION

WHEREAS, the Council of the Town of Berryville, Virginia, has convened a closed meeting on this date pursuant to an affirmative recorded vote and in accordance with the provisions of The Virginia Freedom of Information Act; and

WHEREAS, Section 2.2-3712.D of the Code of Virginia requires a certification by this Council that such closed meeting was conducted in conformity with Virginia law,

NOW, THEREFORE, BE IT RESOLVED that the Council hereby certifies that, to the best of each member's knowledge, (i) only public business matters lawfully exempted from open meeting requirements by Virginia law were discussed in the closed meeting to which this certification resolution applies, and (ii) only such public business matters as were identified in the motion convening the closed meeting were heard, discussed or considered by the Council.

Harry Lee Arnold, Jr., Recorder

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18. Adjourn
There being no other business, upon motion of Council member Tollett, the meeting was adjourned at 10:10 p.m. until June 22, 2018 at 10:00 a.m.

Harry Lee Arnold, Jr., Recorder

Mia L. Jackson, Town Clerk

MINUTES
BERRYVILLE TOWN COUNCIL
Berryville-Clarke County Government Center
Continued Meeting
June 22, 2018
10:00 a.m.

Town Council: Present-Patricia Dickinson, Mayor; Harry Lee Arnold, Jr., Recorder; Donna Marie McDonald; Allen Kitselman; Erecka Gibson (via telephone); David Tollett

Staff: Keith Dalton, Town Manager; Christy Dunkle, Assistant Town Manager/Planner; Desiree Moreland, Assistant Town Manager/Treasurer; Dave Tyrell, Director of Public Utilities; Mia L. Jackson, Town Clerk

Press: None

1. Call to Order
Mayor Dickinson called the meeting to order at 10:03 a.m.

2. Approval of Remote Participation
Council member McDonald moved that the Council of the Town of Berryville approve remote participation via telephone by Council member Erecka Gibson at this meeting because of her travel requirements. Council member Kitselman seconded the motion.
Aye: Kitselman, McDonald, Gibson, Tollett, Arnold
Nay: None
Abstain: Dickinson

3. Discussion – Resolution of Support – East Main Street SMARTSCALE Project
Ms. Dunkle reviewed the additional requirement for the SMART Scale application submission of a resolution of support by the governing body. Recorder Arnold moved that the Council of the Town of Berryville approve the attached resolution of support for two SMART Scale applications for pedestrian and infrastructure improvements on East Main Street.
Aye: Kitselman, McDonald, Gibson, Tollett, Arnold
Nay: None
Abstain: Dickinson

RESOLUTION OF SUPPORT
SMART Scale Applications

WHEREAS, The Council of the Town of Berryville adopted a Resolution establishing an Urban Development Area (UDA) at their June 12, 2018 meeting; and

WHEREAS, The Town of Berryville is submitting two SMART Scale applications for funding consideration for pedestrian and infrastructure upgrades for two sections of East Main Street from the Norfolk Southern Railroad tracks to Battletown Drive; and

NOW, THEREFORE, BE IT RESOLVED The Council of the Town of Berryville supports and endorses the SMART Scale applications.

By Order of the Council of the Town of Berryville on this the twenty-second day of June, 2018.

Patricia Dickinson, Mayor

Harry Lee Arnold, Jr., Recorder

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4. Discussion – Ground Reservoir Project

Dave Tyrell reviewed the report received from Suez, contractor for the water tank restoration regarding suggested repair options. Suez representative, Brad Brown, reviewed the options for returning the tank to service. Mr. Brown highlighted two options. He said that option one is to build a new floor on top of the existing floor and coat the entire tank with an epoxy. Mr. Brown said option two, which represents the fastest return to service and the lowest cost, would include a more substantial high solid epoxy coating to the inside of the tank and patching holes with large steel plates instead of replacing the entire floor. Mr. Brown said after speaking with their engineer they are recommending the lower cost and fastest return to service option. He said that this solution would represent a 25 to 50 year fix. Mr. Brown noted that both options are permanent solutions and both options would have a one year warranty.

Mr. Dalton inquired about the schedule of the project and noted that the project is currently behind schedule.

Council member Kitselman said from a fire protection standpoint the tank would need to be filled as soon as possible. Mr. Dalton said that the Town is doing well managing events however there have not been any significant fire events where additional storage was needed.

Mayor Dickinson inquired as to how the condition of the tank would be known at the one year mark. Mr. Brown said that currently the Town is on a three year schedule for tank maintenance. Mr. Brown said that Suez will modify the current maintenance schedule and do an eleven month wash out warranty inspection with no additional charge to the Town.

Mayor Dickinson noted that the report states that Suez has uncovered 25% of the tank floor and what will it mean for pricing once they uncover the other 75%. Mr. Brown said that the contractor is basing its price on the representative sample and he does not anticipate an increase in price after uncovering the other 75% of the floor.

Recorder Arnold asked if Suez would consider offering a two year warranty as opposed to a one year warranty.

Council member Kitselman said that he would go with the patch and epoxy solution.

Mr. Dalton reviewed funding options with the Town Council. He recommended that the additional work required in this change order be paid for from water fund reserves. Mr. Dalton recommended that funds from the following reserve line items be utilized to pay for this change order:

Clearwell Expansion	\$ 108,000.00
WPT Inst / SCADA	\$ 113,000.00
Capital Reserve	\$ 59,800.00
Equipment Repair Reserve	<u>\$ 1,324.00</u>
	\$ 282,124.00

Mr. Dalton said he wanted to reiterate his recommendation to address water rates. Mayor Dickinson said that she would like to see a more strategic view on how to deal with the water improvements that are needed. Mr. Dalton stated that the study slated for FY19 should provide a more strategic view of the matter.

Mr. Kitselman asked for staff's recommendation. Mr. Tyrell said that he is comfortable with the less expensive repair. Mr. Dalton said the less expensive repair option is an appropriate expenditure based on the conversations he has had with Town staff and the contractor and their staff. He said the less expensive option will extend the life of an already solid tank by fifty years making it a viable choice. Council member Kitselman reiterated that he is comfortable with the less expensive option especially given that Council will be looking at the possibility of increasing water rates. **Council member Tollett moved that the Council of the Town of Berryville authorize contract modifications to allow for repairs provided by Suez in accordance with Cooperative Procurement City of Manassas RFP # 16P007, Item 11-Repairs, Page 13 and allowing the Town Manager to execute any documents thereto with Council choosing the less expensive option of repair and not the false bottom. Council member Kitselman seconded the motion.** Recorder Arnold would like to know if Suez could offer a two year warranty.

Aye: Kitselman, McDonald, Gibson, Tollett, Arnold

Nay: None

Abstain: Dickinson

5. Discussion – Work Session July 2, 2018

Mayor Dickinson said the organizational work session Town Council meeting is scheduled for July 2, 2018.

Mr. Dalton said he would like to add a discussion about the tanker taskforce to the July Council agenda.

Mr. Dalton asked that Council consider permanently archiving the audio recording of this meeting for historical purposes. He said staff will review the policy that addresses what is needed to have the recording archived and report back to Council at the July meeting.

6. Closed Session – No closed session scheduled

7. Adjourn

There being no other business, upon motion of Council member Tollett, seconded by Council member Kitselman the meeting was adjourned 11:15 a.m.

Harry Lee Arnold, Jr., Recorder

Mia L. Jackson, Town Clerk

MINUTES
BERRYVILLE TOWN COUNCIL
Berryville-Clarke County Government Center
Work Session
July 2, 2018
3:00 p.m.

Town Council: Present-Patricia Dickinson, Mayor; Harry Lee Arnold, Jr., Recorder; Donna Marie McDonald; Diane Harrison; Erecka Gibson; Kara C. Rodriguez

Staff: Keith Dalton, Town Manager; Desiree Moreland, Assistant Town Manager/Treasurer; Mia L. Jackson, Town Clerk

Press: None

1. Call to Order
Mayor Dickinson called the meeting to order at 3:00 p.m.

2. Approval of Agenda
On motion of Council member McDonald, seconded by Council member Gibson, the amended agenda was approved unanimously.
Aye: Harrison, McDonald, Gibson, Rodriguez, Arnold
Nay: None
Abstain: Dickinson

3. Discussion – Budget Calendar
Mayor Dickinson said she would like to come up with a schedule for Council where goals and objectives are ready for approval at December’s Council meeting. Council had a discussion on the feasibility of this request. Mayor Dickinson noted that it would not be an additional burden on staff however the Committees would need to begin working on their submissions earlier. Mayor Dickinson reviewed the following changes to the calendar: July through August committees would begin drafting their list of goals and objectives for review at September’s work session; in October Town staff would do the cost benefit and risk analysis; in November a consolidated list of goals and objectives would be presented; December, Council would finalize the goals and objectives for approval and submission to staff in January. Council agreed with this schedule.

4. Discussion – Committee Assignments
Mayor Dickinson reviewed the following committee assignments:

Budget & Finance – Erecka Gibson, Chair; Pat Dickinson; Kara Rodriguez
Community Improvements – Donna McDonald, Chair; Diane Harrison, Kara Rodriguez,
Personnel – Jay Arnold, Chair; Pat Dickinson, Erecka Gibson
Police & Security – Diane Harrison, Chair, Donna McDonald, Pat Dickinson (transition)
Streets & Utilities – Pat Dickinson, Chair; Diane Harrison

Council member McDonald asked to change committees. She said she would like to change to Police and Security Committee.

Council member Rodriguez and Mayor Dickinson proposed the idea of expanding the scope the Community Improvement Committee to include economic development. Council member Rodriguez said her vision of what the committee would address is focusing on economic development. Council member Rodriguez said there are new opportunities within the Town for economic development and new stakeholders to work in collaboration with. Mayor Dickinson said that she would like to see the committee look at addressing the abandoned and vacant properties within the Town including those that are private properties. She said she would like the committee to focus on managing and maintaining the communities within the Town. Council member Harrison said that there may be an issue in addressing the private properties within the Town from a legal standpoint. Council member Rodriguez said that she would provide to the Town Manager ideas for a new name for the Community Improvement Committee.

Council member McDonald asked Mayor Dickinson if they could go back and establish committee assignments. After discussion the following Committee assignments were agreed upon:

Budget & Finance – Erecka Gibson, Chair; Pat Dickinson; Kara Rodriguez
Community Improvements – Diane Harrison, Chair; Donna McDonald, Kara Rodriguez,
Personnel – Jay Arnold, Chair; Pat Dickinson, Erecka Gibson
Police & Security – Donna McDonald, Chair, Diane Harrison, Pat Dickinson (transition)
Streets & Utilities – Pat Dickinson, Chair; Diane Harrison

Recorder Arnold proposed to change the name of the Police & Security Committee to Public Safety Committee. He also proposed that Personnel Committee become and he proposed to change the name of the Personnel Committee to Personnel, Appointments & Policy Committee. Council agreed with the proposed name changes for the two committees.

Council member Harrison suggested that Christy Dunkle return as the liaison for the Northern Shenandoah Valley Regional Commission. Mayor Dickinson said that she will have a conversation with the planner. It was determined that Recorder Arnold will remain the liaison for Berryville Main Street and Council member McDonald will remain the liaison for the Barns of Rose Hill.

The Council discussed the schedule for the committee meetings. After discussion the following schedule was established for committee meetings:

Budget & Finance – 4th Thursday, 10:30 am
Community Improvements – 4th Monday, 4:30 pm
Personnel – 4th Tuesday, 9 am
Public Safety – 4th Wednesday, 4:30 pm
Streets & Utilities – 4th Tuesday, 10:30 am

Mr. Dalton asked if Council member McDonald would be able to have the Public Safety Committee at 4:00 pm instead of 4:30 pm.

5. Discussion – Town Council Operating Rules

Mayor Dickinson said that she would like to see the operating procedures for Council be compiled into a central area and distributed to Council. She asked if the Personnel, Appointments & Policy Committee would compile all operating procedures into one document for distribution to the entire Council. Recorder Arnold said that the committee would take that task on.

Council member McDonald asked about the informational brochure. Mr. Dalton said that a draft of the brochure will be presented at the Council meeting. Council member Gibson stressed the importance of having a unified answer that comes from Council in regards to the questions that are asked. Council discussed some of the differences between the informational brochure and the quarterly newsletter and the information that is provided between the two outlets.

6. Closed Session – No closed session scheduled

7. Adjourn

There being no other business, upon motion of Council member Rodriguez, seconded by Council member McDonald, the meeting was adjourned 3:52 p.m.

Harry Lee Arnold, Jr., Recorder

Mia L. Jackson, Town Clerk

Attachment 2

Please find attached:

- Resolution honoring the service of H. Allen Kitselman, III
- Resolution honoring the service of Dave Tollett

Once resolutions are adopted they would be signed and prepared for presentation. It would be expected that both Messrs. Kitselman and Tollett would be invited to the August Town Council meeting where the resolutions would be presented.



**COUNCIL OF THE TOWN OF BERRYVILLE
RESOLUTION OF APPRECIATION AND THANKS**

WHEREAS, H. Allen Kitselman, III was first appointed to the Berryville Town Council on May 8, 2001; and

WHEREAS, Mr. Kitselman was subsequently elected for four additional terms serving on the Council for 17 years; and

WHEREAS, Mr. Kitselman continues to serve on the Berryville Area Development Authority where he has served since 1999; and

WHEREAS, During his tenure on Council, Mr. Kitselman has faithfully served the citizens of the Town of Berryville, utilizing his expertise to guide and manage many projects including the construction of the Berryville – Clarke County Government Center and serving as a member of the Community Improvements Committee and the Building Committee; and

WHEREAS, Without fail, in all of his dealings with the public and other public officials, Mr. Kitselman executed the duties of his office in a fair, thoughtful, and just manner; and

WHEREAS, Through his dedication to the Berryville Town Council, Mr. Kitselman has served as an exceptional example of a citizen's concern for his community and has positively affected the lives of Berryville's residents;

NOW, THEREFORE, BE IT RESOLVED, by the Council of the Town of Berryville, that H. Allen Kitselman, III's extensive and distinguished service to this community is recognized and that he is thanked for his hard work and dedication.

By Order of the Council of the Town of Berryville on this the tenth day of July, 2018.

Patricia Dickinson,
Mayor

Harry Lee Arnold, Jr.,
Recorder



**COUNCIL OF THE TOWN OF BERRYVILLE
RESOLUTION OF APPRECIATION AND THANKS**

WHEREAS, David Tollett was first elected to the Berryville Town Council on May 4, 2010; and

WHEREAS, Mr. Tollett was subsequently elected for two additional terms serving on the Council for 8 years; and

WHEREAS, Mr. Tollett has served as the Chairman of the Police and Security Committee, championing public safety and law enforcement with integrity for the citizens of Berryville; and

WHEREAS, Mr. Tollett has served as a member of the Streets and Utilities Committee reflecting his commitment to current and future infrastructure needs; and

WHEREAS, Mr. Tollett is respected for his dedication to the interests of the Town and all of its citizens; and

WHEREAS, Through his work with the Berryville Town Council, Mr. Tollett has been the example of a thoughtful, hardworking, kind, and dedicated Council member working towards the well-being of the Town and its citizens;

NOW, THEREFORE, BE IT RESOLVED, by the Council of the Town of Berryville, that the invaluable contributions made by David Tollett are hereby recognized.

By Order of the Council of the Town of Berryville on this the fourteenth day of July 10, 2018.

Patricia Dickinson,
Mayor

Harry Lee Arnold, Jr.,
Recorder

Attachment 3

At the May Town Council meeting, the Council discussed the need to provide more detailed information to utility customers. The discussions centered on information regarding enterprise fund operation and meter reading. The Council directed staff to provide them with additional information that could be provided to the public through utility bills, the town's website, and the packet provided to new residents.

Staff reviewed the current Welcome to Berryville brochure and recommends significant changes to it as well as the development of a separate Town of Berryville Water and Sewer brochure.

Please find attached (in front pocket of agenda binder):

- Draft Welcome to Berryville brochure
- Draft Town of Berryville Water and Sewer brochure

Staff requests comment and guidance from the Council on both the approach and the brochures themselves. With that guidance, staff would like to finalize the brochures and website revisions by August 31.

Per direction it has received from Council, staff intends to include a version of the Water and Sewer brochure with the November water/sewer bills.

WELCOME TO BERRYVILLE



We hope this guide will be of help to you as you settle into your new home and community. Please do not hesitate to call or stop by the Town Office if you have any questions or need additional information, local street maps or any other assistance we may be able to provide or just to exchange a friendly "Hello"!

Town Council Members

Mayor	Patricia Dickinson
Recorder	Harry Lee Arnold, Jr.
Ward 1	Donna Marie McDonald
Ward 2	Diane Harrison
Ward 3	Erecka L. Gibson
Ward 4	Kara C. Rodriguez

Berryville Clarke County
Government Center (BCCGC)
101 Chalmers Court
www.berryvilleva.gov
540.955.1099

Town Staff

- Keith R. Dalton
Town Manager
- Desirée A. Moreland
Treasurer / Assistant Manager
- Christina N. Dunkle
Town Planner / Assistant Manager
- W. Neal White
Chief of Police
- David Tyrrell
Director of Utilities
- Richard Boor
Director of Public Works

Contact Information

Town of Berryville	
<i>Town Business Office</i>	955-1099
<i>website</i>	www.berryvilleva.gov
<i>fax</i>	955-4524
<i>Planning and Zoning</i>	955-4081
<i>Police (non-emergency)</i>	955-3863
<i>Public Works</i>	955-4843
<i>Water and Sewer Billing</i>	955-1099
<i>Water Plant</i>	955-1759
<i>Sewer Plant</i>	955-1982
<i>Refuse and Recycling</i>	955-1099
County of Clarke	
<i>Administration</i>	955-5100
<i>Building Department</i>	955-5112
<i>website</i>	www.clarkecounty.gov
Berryville Main Street	955-4001
<i>website</i>	www.berryvillemainstreet.org
Frederick County Landfill	540-665-5658
Rappahannock Electric	800-552-3904
Washington Gas	540-869-1111
Comcast/Xfinity	800-266-2278
Post Office	955-2667
Library	955-5144

Disclaimer
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other items such as refrigerators, air conditioners, televisions and computer screens, the collection fee is \$40. To utilize this service, please purchase the appropriate appliance collection sticker at the Town Office and schedule your collection. Please do not block sidewalks. All hazardous waste (paints, pesticides, anti-freeze, used oil, tires, etc.) must be disposed of at the Frederick County Landfill 540- 665-5658 or www.fcrecycles.net.

Emergency Services

The Town is served by several local volunteer fire and rescue companies. The company with primary responsibility for the Town is the John H. Enders Volunteer Fire Company and Rescue Squad. Volunteer efforts are supplemented by professional fire and EMS personnel who are funded and managed by the County of Clarke. If you would like to volunteer to assist John H. Enders Volunteer Fire Company and Rescue Squad, then please call 540- 955-1110.

Schools

Area schools are funded by the County of Clarke and are administered by the Clarke County School Board, 317 W. Main St, 540-955-6100 or visit www.clarke.k12.va.us/school-board-1.

Parks and Recreation

Berryville owns and maintains the beautiful three-acre Rose Hill Park in the heart of downtown. Rose Hill Park provides a great place for families to relax and enjoy a peaceful outing. Park facilities include a playground designed for our younger citizens, a basketball court and a gazebo. Throughout the course of the year, Rose Hill Park hosts numerous concerts, festival and other events. A variety of youth and adult recreational services and programs are provided through the Clarke County Parks and Recreation Department, Located at the Chet Hobert Park off of Business Route 7 west of Berryville. Facilities include a community building with an indoor gymnasium, exercise room and several meeting rooms; the community swimming pool; picnic shelters; outdoor playing fields for soccer, baseball and football; outdoor tennis courts and playground equipment. For more information about County facilities and programs, please call 540-955-5140 or visit www.clarkecounty.gov/residents/recreation-center.html

Yard Waste (Brush)

The Town collects yard waste each Wednesday, weather permitting. No yard waste will be collected unless the owner/occupant contacts the Town Office by 12:00 noon on the Tuesday prior to the desired collection date (540-955-1099). Loose yard waste must be contained in paper yard waste bags and may not exceed fifty pounds in weight. Brush must be tied into compact bundles that can be handled by one collector. No such bundle shall exceed four (4) feet in length, twelve (12) inches in diameter and fifty (50) pounds in weight. No single collection may exceed one hundred pounds of waste. Do not block sidewalks or storm drains. Neither the Town nor its contractors will collect grass clippings or ashes. All collected grass clippings will need to be disposed of by the property owner.

Refuse and Recycling

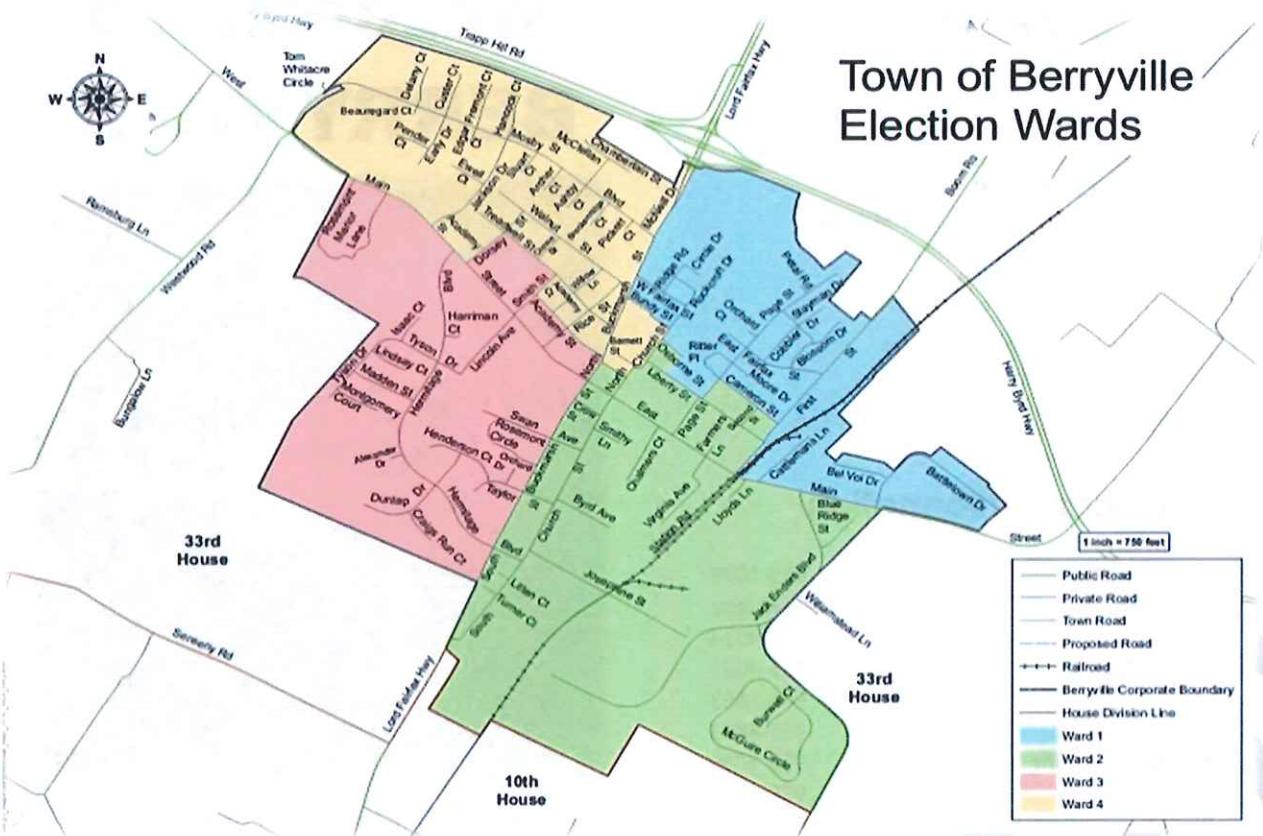
Weekly residential curbside refuse and recyclables collection occurs on the following schedule:

- East of Buckmarsh Street (Route 340) - Thursday
- West of Buckmarsh Street (Route 340) - Friday

The Town has contracted with a private company to provide this service. One recycling bin is provided to each residence at no cost. The bins are the property of the Town and should remain with the residence. All trash and recycling containers should be placed on the curb by 7:00 a.m. on collection day. In the interest of litter control and consideration for your neighbors, trash placed at the curb on the evening prior to collection day should be in covered containers. In the unusual event your trash was place at the curb by 7:00 a.m. but is missed for some reason, please contact the Town Office by 1:00 p. m. on collection day if possible (955-1099). On certain holidays curbside collection will be delayed by one day. The Town's website will have News Flash updates to identify the specific holiday(s) that will affect the collection schedule.

Bulk & Appliance Collection

Bulk item pickup service is provided on Wednesday's at no charge but must be scheduled in advance. The Town charges a collection fee of \$25 for appliances such as stoves, microwaves and water heaters. For



Town of Berryville Election Wards

Historic Downtown

The central business district in Berryville is an established historic district listed on both the Virginia and National Registers of Historic Landmarks. Berryville is also a Virginia Main Street Community, a downtown revitalization program of the National Main Street Center of the National Trust for Historic Preservation administered through the Virginia Department of Housing and Community Development by agreement with the local independent organization, Berryville Main Street (BMS). In addition to organization and sponsorship of festivals and events in the downtown, BMS provides a variety of services and programs which offer assistance to downtown property owners and businesses. For further information, contact the Berryville Main Street director at the BMS office 540-955-4001 or director@berryvillemainstreet.org.

Voter Registration

Voter registration is located at 101 Chalmers Court. Office hours are 8:30 a.m. to 4:30 p.m. Monday through Friday, excluding holidays. Extended hours are offered prior to voter registration deadlines prior to elections. Please contact the Registrar's Office for more information at 540-955-5168 or visit www.clarkecounty.gov/32/-/sp-102

Town Meetings

The Town Council meets in the Main Meeting Room, second floor, of the BCCGC on the second Tuesday of each month, beginning at 7:30 p.m. The Planning Commission, Board of Zoning Appeals, Berryville Area Development Authority, Tree Board and Architectural Review Board also meet at the Government Center. All meetings are open to the public and citizens are invited to attend. Visit www.berryvilleva.gov/calendar for meeting dates and time. We encourage all citizens of the Town to take an active part in local government. The Town maintains a "Talent Bank" of citizens who are interested in serving on these boards. Please contact the Town Office for more information about these citizen advisory boards and commission or to obtain a Talent Bank Form.

Town Business Office

The Town Business Office, located at 101 Chalmers Court, is open from 8:30 a.m. to 5:00 p.m. Monday through Friday, excluding holidays. Berryville Police Headquarters and the Town Planning and Zoning Office are located in the same building. A drop box is located next for the Town drive-through for after-hours payment of water and sewer bills, taxes, parking tickets and any other bills or payments due the Town. We discourage depositing cash in the drop box.

Water and Sewer (see separate brochure)

Real Estate / Personal Property Taxes

Residents of towns in Virginia must pay real estate and personal property taxes to both the town and the county in which the town is located. The Town calculates its real and personal property taxes by using assessments provided by the Clarke County Commissioner of the Revenue. Any questions about the assessed value of your property should be directed to that office, located at the BCCGC (540-955-5108). Real estate taxes for both the Town of Berryville and Clarke County are due and payable in semi-annual installments, on June 5th and December 5th of each year. Town of Berryville personal property taxes are due and payable once a year, on December 5th. (Clarke County personal property taxes are billed semi-annually, due and payable on June 5th and December 5th of each year.) In the event you use a postal address that is different from your street address, it is your responsibility to verify that the Town has the proper mailing address. Should your real estate tax bills be directed to a third-party payee in connection with your mortgage payments, make sure your mortgage company has requested your bill from the Town. This will ensure timely receipt and payment of tax bills and avoid delinquent penalties and interest. The Town vigorously enforces collection of delinquent taxes through credit reports, tax liens, garnishments, attachment of assets and tax sales.

Berryville is a wonderful community. By long tradition, and as designated in the Berryville Area Plan, the Town serves as the center of commercial, residential, institutional and industrial activity for Clarke County. Both the Town and County are committed to preserving and enhancing Berryville's historic downtown and maintaining Clarke County's exquisite countryside. Preservation of our community's charming character and natural beauty has required extraordinary effort and a high level of cooperation between the Town and County. The Berryville Town Council encourages all citizens to join us in these preservation efforts, which will ensure that our community remains a great place to live, work and play.

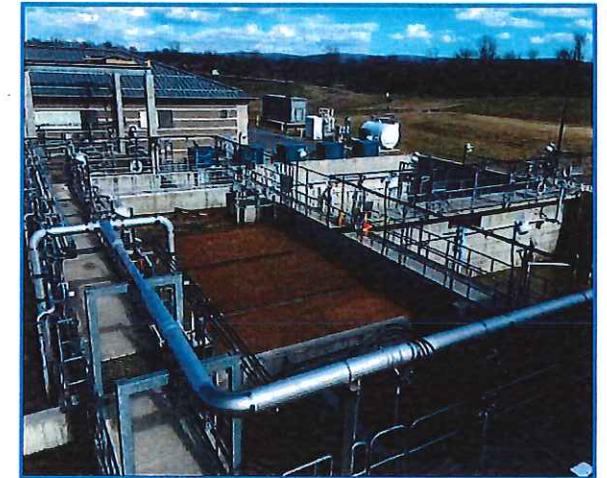
Town Government

The Town of Berryville operates under the council-manager form of local government. The Town is governed by a six-member Town Council. The Town Council is comprised of a Mayor, Recorder, and four Council members. The Mayor and Recorder may live anywhere in Town while the four Council members must live in one of the Town's four election wards. While four of the Council members have specific residency requirements, all members of the Town Council, including the Mayor and Recorder, are elected by the entire Town electorate.

The Town Council employees a manager to oversee the delivery of Town services. The Town Manager, who serves at the pleasure of Town Council, manages the day to day operation of the Town and serves as the chief advisor to the Town Council.

TOWN OF BERRYVILLE

WATER AND SEWER

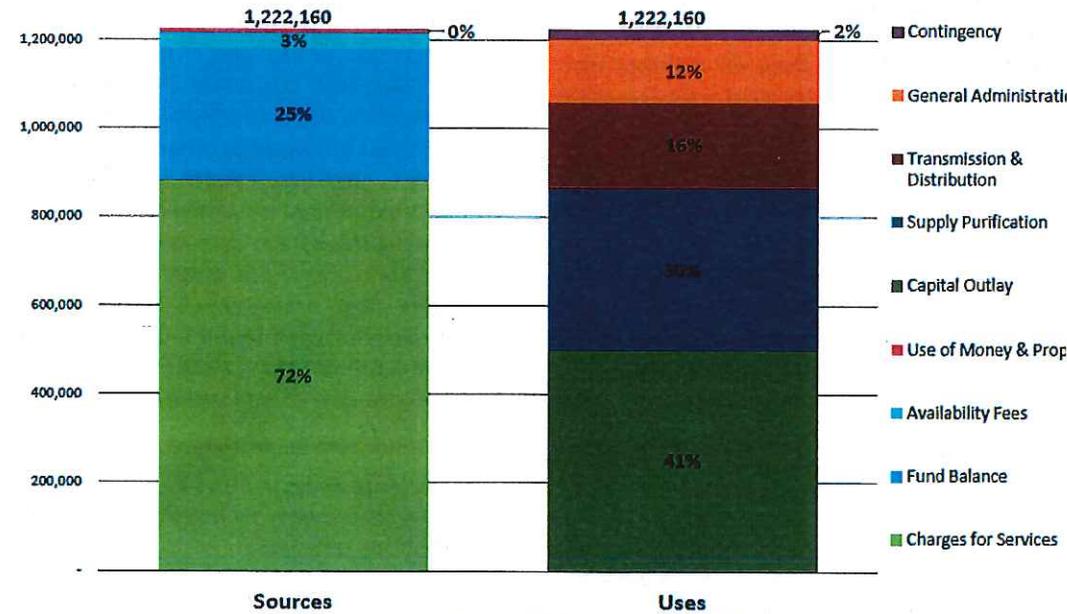


The Town of Berryville is committed to providing its customers with a safe and dependable supply of drinking water and being a good steward of the Shenandoah River and the Chesapeake Bay when treating wastewater. Information contained here will provide our customers with information they need regarding water and sewer quality as well as billing.

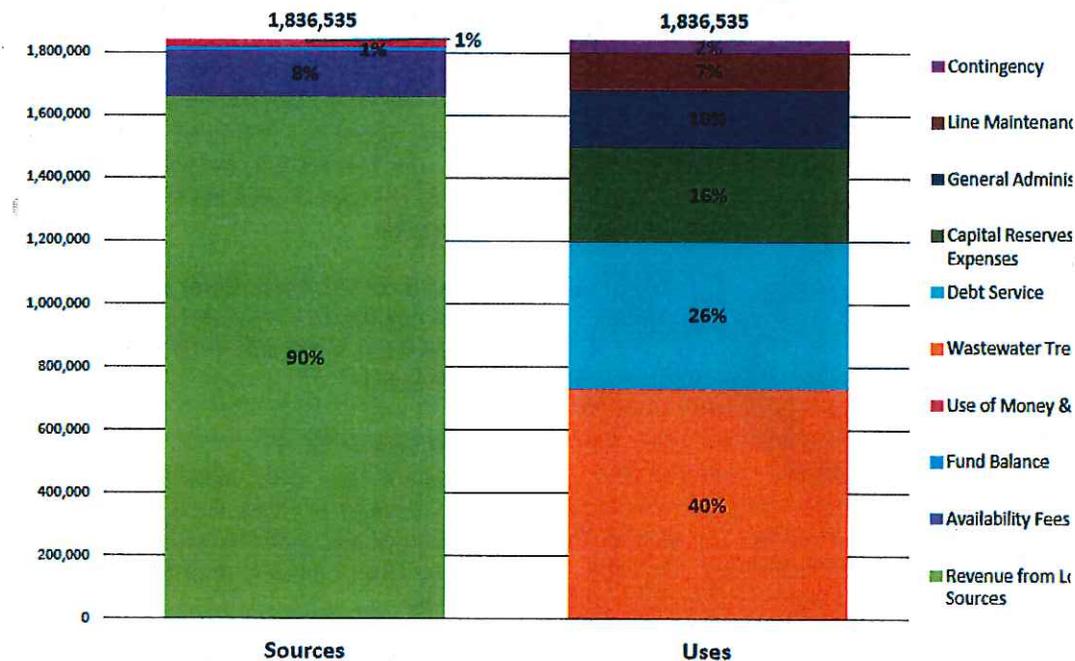
www.berryvilleva.gov

PHONE: 540.955.1099

FISCAL 2019 WATER FUND - SOURCES AND USES



FISCAL 2019 SEWER FUND - SOURCES AND USES



customer is moving. An administrative fee of \$40 will be assessed if an extension is granted. Customers must provide a reasonable cause or undue hardship requiring the extension. Based on the customer's payment history and the amount due, the Town may not be able to grant an extension in all situations. This extension does not prevent the payment from being considered late, which will lead to additional charges on the account. Even if a payment extension has been granted, a second notice will be mailed. If payment is not received by the extension date, the payment extension will default and the account will be disconnected. In addition, all accounts terminated for non-payment twice within six months may be reviewed to ensure the deposit on hand is sufficient. If there is a gap between the deposit on hand and three months' average billing for that account, the deposit may be increased to the required level.

Addressing Problems

Any discrepancies or problems in a water and sewer bill should be addressed by calling the Town Office at 540-955-1099 immediately, but in no event more than 10 days from the date of the billing. If you suspect that you may have leaks in your home's internal plumbing system, Berryville's Public Works Department will assist in leak detection. Please call the Town Office to schedule this service.

For more information, please see the *Water and Sewer Billing Adjustment Policy (PDF)* and *Water and Sewer Adjustment Request Form* found online at berryvilleva.gov/2160/Water-Sewer.

Should you have issues with water and/or sewer service call the Town office at 540-955-1099 during normal business hours, 8:30am to 5:00pm, Monday through Friday. For emergency situations, after hours, weekend or holidays call Clarke County Communications at 540-955-1234.

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Water Source/Treatment of Your Drinking Water

The Town of Berryville obtains its water from the Shenandoah River. The water drawn from the Shenandoah River is treated at the Roy E. Potts Water Treatment Plant. Water treatment includes pre-sedimentation, the addition of liquid alum and a polymer for coagulation, the addition of carbon for absorption, the addition of potassium permanganate as a pre-oxidant, and the addition of chlorine to disinfect the finished water. Sodium fluoride is also added to help prevent dental caries. The water is mixed with the coagulant, allowed to settle, and is filtered through two sand filters. Once treated, the water is pumped into the Town's water distribution system. The distribution system, which consists of water mains, a booster pump station, one ground reservoir, and two elevated storage tanks; provides water service to over 1,800 service connections.

Annual Drinking Water Quality Report

Each year, the Town publishes its Annual Drinking Water Quality Report and mails to all water account customers. This report, which can be found at berryvilleva.gov/2160/Water-Sewer, is designed to provide customers with valuable information about drinking water quality in the Town. The quality of the Town's drinking water meets all state and federal requirements administered by the Virginia Department of Health. For more information or if you have questions, please call David Tyrrell, Director of Utilities at 540-955-1982 or dirutilities@berryvilleva.gov.

Wastewater

The Town's wastewater treatment plant treats wastewater to a level that exceeds permit requirements. Additional information can be obtained by contacting the Director of Utilities, David Tyrrell at 540-955-1982 or dirutilities@berryvilleva.gov.

The Town of Berryville owns and operates a 700,000 gallon per day Advanced Membrane Bioreactor Wastewater Treatment and Nutrient Reduction Facility. The treatment process is a four-stage activated sludge system which biologically removes organic waste and nitrogen and chemically precipitates phosphorus from the Town's wastewater. After biological treatment, all water must pass through a membrane microfiltration unit that uses 0.04 micron filter media to ensure solids removal providing excellent water quality in the

facility's discharge. Water is disinfected with ultraviolet light prior to returning to the Shenandoah River. Since being brought online in September of 2012, this facility has consistently met discharge requirements with solids below detectable limits, has been more than 98% efficient with organic waste removal, and has met its stringent nutrient reduction requirements of 4.0 mg/l total nitrogen and 0.3 mg/l total phosphorus as a yearly average as required by DEQ (Department of Environmental Quality).

Meter Reading

Town personnel read water meters monthly, though snow and ice cover may cause a delay in reading. Meter reading generally occurs in the last week of a given month. Meter readings are recorded to the lowest thousand gallons of usage (i.e. 1,999 gallons of usage will be billed as 1,000 and 2,500 gallons of usage will be billed as 2,000 gallons of usage). Because of this, some customers may notice their billed consumption fluctuate periodically.

Billing

The Town bills for water and wastewater (sewer) usage each month, though delays to water meter reading can interfere with the regular billing cycle. Wastewater (sewer) usage is determined and billed based on the water meter reading. Unless meter reading is significantly delayed, water/sewer bills will be due on the 15th of each month.

Rates

Rate Type	Rate Per 1,000 Gallons of Usage	Minimum Monthly Charge
Water	\$ 8.40	\$ 5.00
Sewer	\$ 17.00	\$ 15.00
Total	\$ 25.40	\$ 20.00

Water Rates: The Town Council sets water rates at a level that provides for payment of expenses related to water treatment, water distribution, and administration. The Water Fund receives all of its revenues from user fees (water bills), availability fees (fees charged to connect to the Town's water system) or borrowing. This income from fees must pay for all water system expenses, including debt service. Sources (revenue) and Uses (expense) for the water fund is illustrated in the graph on the reverse of this brochure. More details about the Water Fund revenues and expenses can be found in the **FY 19 Operating Budget & CIP for 2019-2023** on our website at

berryvilleva.gov/2175/Treasurer (Specifically pages 81, 89-91, 107-109)

Sewer Rates: The Town Council sets rates at a level that provides for payment of expenses related to sewer collection, treatment, and discharge. The Sewer Fund receives all of its revenues from either user fees (sewer bills) or availability fees (fees charged to connect to the Town's sewer system). This income from fees must pay for all sewer system expenses. Sources (revenue) and Uses (expense) for the sewer fund is illustrated in the graph on the reverse of this brochure. More details about the Sewer Fund revenues and expenses can be found in the **FY 19 Operating Budget & CIP for 2019-2023** on our website at berryvilleva.gov/2175/Treasurer (Specifically pages 81-82, 91-93, 111-113)

Penalty/Late Fees: A 10% late payment penalty is assessed to accounts on which full payment is not made by the due date.

Second Notice: After the penalty is assessed a second notice will be mailed. This notice will inform the customer that service will be disconnected if payment is not made by the cut-off date. PLEASE NOTE: No additional notice will be provided.

Service Disconnection: If service is disconnected, it will be restored when the account and service charges, including a \$40 administrative fee, have been paid. The Town strictly enforces this policy. Please refer to the back of your bill for additional information.

Water & Sewer Availability Fees

Please call the Town Manager at 540-955-1099 to inquire about water and sewer availability fees (new connections).

Water Conservation

To find out more about water conservation, read the *Water Saving Tips (PDF)* document found online at berryvilleva.gov/2160/Water-Sewer. It is in both your and the Town's interest to conserve water as much as possible.

New Water & Sewer Accounts

To set up a new account, please call the Town Office at 540-955-1099.

Customer Responsibilities

Customers are responsible for contacting the Town Business Office to ensure the account for a new residence is properly placed in their name, when contact information changes, and to notify the Town Business Office when they plan to vacate a property.

Security Deposit

A refundable security deposit of \$225 is required for customers who are renting their residence. Depending on the type of renter, a different security deposit amount may be required.

Business / Commercial-\$860 * Laundry-\$2,450 *
Restaurant-\$785

Landlord Paperwork

Owner and/or Landlord must complete the *Owner Authorization for Tenant Utility Service*, authorizing renters to have water and sewer service placed in their name at the rental property. This form may be found online at berryvilleva.gov/2160/Water-Sewer.

Automatic Payment Authorization

The Town offers you the option to pay your utility bill through automatic monthly debits from your bank account. These automatic debits are a safe and convenient method of paying your utility bill. You just authorize us to notify your bank to transfer the amount you owe on the day your payment is due. To enroll, complete the *Automatic Payment Sign-Up Form* found online at berryvilleva.gov/2160/Water-Sewer to start the process. Once you are set up, your payment will be drafted automatically on the 15th of each month. If the 15th falls on a weekend or holiday, your payment will be made the next business day.

Payment Extension Policy

Customers who are unable to pay their bill on time may request an extension. A Payment Extension is provided to temporarily extend the due date of the bill for those situations when a qualifying customer is in need. Only the account holder may request this service, and it must be requested prior to the scheduled cut-off day. Payment extensions can only be made on active accounts. Customers will be allowed two extensions of five days each per 12-month period. Extensions will not be allowed on an account that has less than three billing cycles, if a final read is scheduled, or if the Town is aware the

Attachment 4

Planning and Community Development

No Action Items

July 10, 2018

Planning Commission

The Planning Commission did not hold a meeting in June. Their next meeting is scheduled for Tuesday, July 24, 2018 at 7:30pm.

Berryville Area Development Authority

The BADA did not hold a meeting in June. The Robert Regan Village plans have been submitted for review and will be discussed at their next meeting scheduled for Wednesday, July 25, 2018 at 7:00pm.

Architectural Review Board

Their next meeting is scheduled for Wednesday, July 11, 2018 at 12:30pm.

Tree Board

The Tree Board's next meeting is scheduled for Wednesday, August 1, 2018.

Board of Zoning Appeals

The Board of Zoning Appeals has not held a meeting since the last Council meeting.

Attachment 5

July 10, 2018

At the June 12 meeting the Council discussed the proposed lease agreement amendments in closed session.

Staff has continued discussions with the lessee.

Staff is hopeful that a lease amendment will be in hand before the deadline for publication of public hearing notices for the August Town Council meeting.

RECOMMENDED ACTION

Staff requests authorization to advertise a public hearing for the August Town Council meeting if what appears to be an acceptable amendment is received by July 25.

June 12, 2018

The Town has been contacted by a contractor working for ATT regarding their desire to locate an emergency generator on the property at 201 Tom Whitacre Circle. This generator would support their existing facilities located on Town property. Staff made an initial decision that the ground space that may be occupied under the lease agreement (400 square feet) would need to be expanded to accommodate the new equipment (150 square feet needed). Staff has spoken with the contractor regarding an amendment to the Agreement that would increase the ground lease.

Staff is of the opinion that locating the generator behind (east side) of the existing ATT building would be the best as it would not occupy space that could be easily used by the Town or another lessee. This area is highlighted on the attached plan. There is sufficient space between the building and the fence to install the generator; however the side of the generator could not be accessed unless the fence is moved or a gate installed. Further, screening trees planted in 2001 have grown right up to the fence (and through in many places).

Town staff has suggested that ATT consider: 1) removing the four screening trees, 2) planting four new screening trees west of the existing trees, 3) installing a gate on the western side of the fence, and 4) installing the generator between the fence and the building. ATT appears amendable to this arrangement but requests minimal rent increase because of the cost of work that must be done. The Town would have to provide the lessee with access to the new gate.

Further, ATT has discussed the idea of addressing the matter of the ground lease and extending the term of the lease by 50 years.

It is clear that ATT would like to move quickly in order to get the generator sited.

While staff is still examining the matter of rent and term, it has contacted legal counsel regarding language that would need to be included in any amended agreement to deal with the liability/environmental issues attendant to having a diesel powered generator located on the property.

History

A predecessor in title to ATT and the Town entered into a Water Tank Site Lease Agreement in 2001. The agreement was subsequently amended (to permit location of additional equipment on the demised property) in 2010 and again in 2016.

The Agreement will expire in 2021.

The rent for this site is currently \$3,189.80 per month.

Request

Staff is of the opinion that the Town Council has two options in this regard: 1) address the request to locate additional equipment and wait until a time closer to the expiration of the agreement to deal with renewal, or 2) address the ground lease and an extended term at the same time.

Staff expects to speak with ATT's contractor early next week and hope to have more information available at the Council meeting. Staff would like to discuss this matter with the Council in order to bring it up to speed and get guidance regarding negotiations.

It is important to note that the Council must hold a public hearing before approving an amendment to the Agreement.

Please find attached:

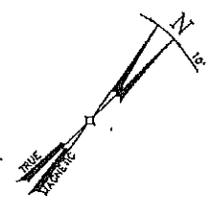
- Plan with area in question highlighted
- Agreements and amendments

TOWN OF BERRYVILLE REQUIREMENTS

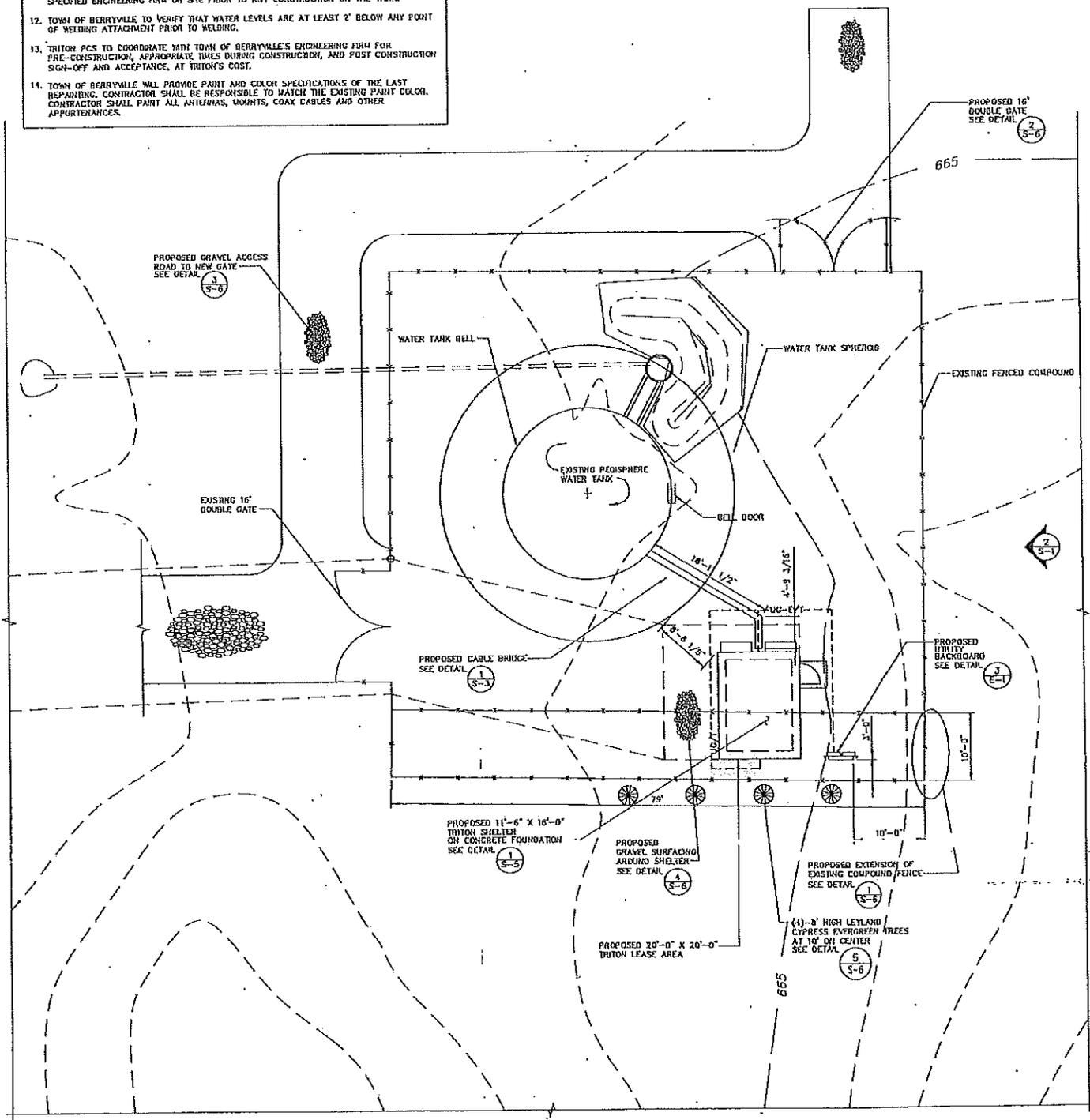
1. TANK OWNER IS TOWN OF BERRYVILLE.
2. TOWN OF BERRYVILLE ENGINEER WILL INSPECT THE TANK PRIOR TO, DURING AND AT COMPLETION OF ALL CONSTRUCTION WORK.
3. PRIOR TO COMMENCING ANY WORK, THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE TANK OWNER.
4. IF BRACKET INSTALLATION SHOWN IN 6/S-4 SCRATCHES THE TANK, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE PER TANK OWNER'S SATISFACTION.
5. COST OF TOWN OF BERRYVILLE ENGINEER'S SERVICES FOR PLAN REVIEW AND INSPECTION SHALL BE REBURSED BY TRITON PCS.
6. THE TANK OWNER MUST VERIFY THAT THE WATER LEVEL IN THE TANK IS MINIMUM 2' (TWO FEET) BELOW ANY POINT OF WELDING ON THE WATER TANK, PRIOR TO CONTRACTOR'S WELDING WORK.
7. PRIOR TO CONTRACTOR'S WELDING WORK, THE TANK OWNER WILL INSPECT THE INTERIOR OF THE TANK. UPON COMPLETION OF THE WELDING WORK BY THE CONTRACTOR, THE TANK OWNER WILL INSPECT THE INTERIOR OF THE TANK TO ENSURE NO DAMAGE WAS DONE TO THE INTERIOR COATING OF THE TANK.
8. IF DAMAGE TO THE INTERIOR COATING OCCURS, CONTRACTOR SHALL MAKE NECESSARY REPAIRS IN ACCORDANCE WITH THE RECOMMENDATIONS FROM THE OWNER'S ENGINEER.
9. DISINFECTED OF THE TANK, IF NECESSARY, WILL BE REQUIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE VIRGINIA DEPARTMENT OF HEALTH REGULATION 12VAC-5-590-1080.
10. TOUCH-UP PAINTING SHALL BE DONE PER OWNER'S SPECS. AND REQUIREMENTS.
11. CONTRACTOR TO COORDINATE WITH TOWN OF BERRYVILLE, TRITON, AND THE TOWN'S SPECIFIED ENGINEERING FIRM ON SITE PRIOR TO ANY CONSTRUCTION ON THE TANK.
12. TOWN OF BERRYVILLE TO VERIFY THAT WATER LEVELS ARE AT LEAST 2' BELOW ANY POINT OF WELDING ATTACHMENT PRIOR TO WELDING.
13. TRITON PCS TO COORDINATE WITH TOWN OF BERRYVILLE'S ENGINEERING FIRM FOR PRE-CONSTRUCTION, APPROPRIATE TAKES DURING CONSTRUCTION, AND POST CONSTRUCTION SIGN-OFF AND ACCEPTANCE, AT TRITON'S COST.
14. TOWN OF BERRYVILLE WILL PROVIDE PAINT AND COLOR SPECIFICATIONS OF THE LAST REPAIRING. CONTRACTOR SHALL BE RESPONSIBLE TO MATCH THE EXISTING PAINT COLOR. CONTRACTOR SHALL PAINT ALL ANTENNAS, MOUNTS, COAX CABLES AND OTHER APPURTENANCES.

NORTH ORIENTATION:

1. CONTRACTOR SHALL VERIFY IN THE FIELD TRUE NORTH BY MEANS OF SOLAR OBSERVATION PRIOR TO FABRICATION/INSTALLATION OF ANTENNA MOUNTS.
2. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO START OF CONSTRUCTION.



LEGEND	
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SITE DETAIL PLAN
SCALE: 1" = 10'

WATER TANK SITE LEASE AGREEMENT

6/26/01 VER.

SITE: Town of Berryville/North West Elevated Tank

THIS LEASE is made between Town of Berryville, Virginia, a Virginia municipal corporation with an address of 23 East Main Street, Berryville, Virginia, 22611, hereinafter called Lessor, and Triton PCS Property Company, L. L. C., a Delaware Limited Liability Company, hereinafter called Lessee.

WHEREAS, Lessor is the fee simple owner of the real property and elevated water tank located on said property situated off of Tom Whitacre Circle adjacent to the Town of Berryville, in Clarke County, Virginia and more particularly described in that deed recorded among the Land Records of Clarke County, Virginia in Deed Book 17, at Page 166 ("Property"); and,

WHEREAS, Lessee is in need of space on a portion of such water tank for a mounting structure to support Lessee's three (3) antennas and ground space measuring no more than 400 square feet in the fenced area around the water tank on the Property (as shown on Exhibit A), for an accessory equipment building for its communications needs ("Site") in the Town of Berryville; and,

WHEREAS, Lessor has determined that renting such space to a user which will not interfere with the needs of Lessor's Department of Public Works, Department of Public Utilities or the town's operations on the Property, will benefit the public and Lessor by minimizing the number of towers which are erected in the Town of Berryville, and Lessor is willing to permit Lessee to lease and use the Premises for the purposes and in accord with the terms and conditions set forth in this lease.

NOW, THEREFORE, WITNESSETH, that for and in consideration of the mutual covenants and provisions herein contained, Lessor leases to Lessee and Lessee rents from Lessor, ground space on the Property for Lessee's equipment building and landscaping, and only as much space on the Water Tank as necessary to mount and install three (3) antennas of Lessor's choice, a building not to exceed one hundred ninety-two (192) square feet in size and not more than ten (10) feet in height and appurtenant transmission lines, together with non-exclusive easements

for ingress and egress and for cables and utilities, and other rights, all of which are more particularly described in this Lease and Exhibit A and/or B attached hereto and incorporated herein (the "Leased Premises").

NOW, THEREFORE, the parties agree as follows:

1. USE OF LEASED PREMISES:

Lessor leases to Lessee and Lessee leases from Lessor the Lease Premises, together with the right to use adjoining and adjacent portions of the Property as may be designated in writing by Lessor during the construction and installation of this Site upon the Leased Premises. Lessee shall be permitted to use the right of way reasonably agreed upon by Lessor and Lessee described on Exhibit A and B hereof for ingress and egress to and from the Site for the use and benefit of the Leased Premises, or such other right of way of similar dimensions as Lessor may designate during the term of this Lease. Lessee shall have the further right, at no cost or expense to Lessor, to construct, erect, install, operate and maintain underground communication cables from the Leased Premises, across and through that portion of the Property reasonably agreed upon by Lessor and Lessee described on Exhibit A and B to nearest available utility source. The foregoing shall be accomplished without interfering with the use or development of the Property by Lessor, and promptly upon completion of such construction, erection or installation Lessee shall at its own cost and expense, repair any damage to the property resulting from such construction, erection, or installation. Lessor specifically reserves the right to develop the property, including leasing space on the water tank and/or the property to others for any lawful purpose in any manner that does not cause interference to Lessee's use of the leased premises. Lessee agrees that Lessor may lease space on the corral constructed by Lessee, provided that such location is approved in writing by Lessee. The Lessee will only review the request to co-locate so as to confirm that any new communications equipment will not interfere with Lessee's operation. Such approval shall not be unreasonably withheld or delayed.

Lessor hereby grants Lessee a non-exclusive easement and right of way to construct, maintain, operate and repair underground communication and electric power lines and systems along, and/or under that portion of the Property designated on Exhibits A and B hereof and the right of way of Lessee designated on Exhibits A and B hereof during the term of this Lease for purposes of installation

and provision of telephone and electric service to the Site. Lessee agrees that no such utility or line shall be installed closer than 5 feet ^{within} to the existing chain link fence. Lessee further agrees to repair the surface of the ground disturbed by construction and to re-establish vegetative cover over the disturbed area.



Lessor hereby grants Lessee, its employees, contractors, agents and invitees a non-exclusive easement and right of way for ingress and egress by vehicular traffic over that portion of the Property designated on Exhibit A and B hereof or such other right of way of similar dimensions to the Leased Premises and the Site, as may be designated in writing, for the purpose of constructing, installing, maintaining, operating and repairing the Site. Should such right of way be taken or otherwise removed or made unusable, Lessor shall designate in writing another right of way and non-exclusive easement for Lessee's use at a location determined in Lessor's sole discretion.

2. TERM AND RENT:

This term of the lease shall be for 4 years 11 months at a monthly rental rate of One Thousand Six Hundred Sixty-six and 67/100 Dollars (\$1,666.67) per month payable in on the first day of each month, in advance. Rent shall be payable monthly commencing on the date (the "Commencement Date") which is (a) the first day following Lessee's receipt of the last of the necessary local, state and federal approvals, licenses and permits so as to permit construction and/or installation of equipment on and use of the Premises for all of the purposes permitted by this Agreement (such approvals, licenses and permits hereinafter collectively called the Approvals), or (b) the first day following Lessee's commencement of construction pursuant to this Agreement, or (c) 120 days after execution of the lease agreement, whichever comes first. Rent shall be paid to Lessor at Lessor's address on Page 12 hereof or to such other person, firm or place as the Lessor may from time to time so designate in writing at least thirty (30) days in advance of a rental payment date.

On the anniversary of each commencement date the basic monthly rental as hereinabove defined, shall be adjusted by an annual three percent (3.00%) escalation or the CPI increase for the previous twelve (12) months, whichever is greater. Lessor shall provide Lessee with CPI increase at least 90 days in advance of the anniversary of the commencement date. If Lessor fails to provide the CPI increase in a timely fashion as required, the annual rent shall increase by three

percent (3.00%).

Lessee's Tax Identification Number 23-2974309.

The term of this Lease shall be automatically extended for three (3) additional periods of four (4) years 11 months each; provided, however, that Lessee may terminate this Lease at any time after the expiration of the initial term by providing Lessor with written notice not less than ninety (90) days prior to the expiration of the then current term. All of the terms and conditions of the Lease shall apply to each of the renewal terms, except that the rent for each renewal term shall increase annually during each renewal term in accordance with provisions of this section and required equipment removal bond amount and required insurance amount may be increased to reflect inflation and market conditions.

3. REAL ESTATE TAXES, UTILITIES, MAINTENANCE:

Lessee shall be solely responsible for all costs and expenses relating to the connection, disconnection and consumption of any utilities in connection with Lessee's construction, installation, operation and maintenance of the Leased Premises including, without limitation, any consumption of electricity by its equipment and Lessee agrees to pay directly to the local utility company all costs for service and installation of an electric meter.

Lessor shall be responsible for the payment of any applicable taxes or assessments against the Property, exclusive of the Leased Premises. Lessee shall be responsible for the payment of any applicable taxes or assessments against the property owned by Lessor or allocable (on a pro rata basis) to the Leased Premises, including but not limited to any sales and property taxes. During the Lease Term, Lessee shall be responsible for the payment of all taxes levied upon the leasehold improvements (including Lessee's equipment building) on the Leased Premises. Lessee shall present certification of payment to Lessor within thirty (30) days after the due date thereof.

Lessee shall at all times during the term of this Lease, at its own expense maintain the Site/Leased Premises in proper operating condition and maintain same in satisfactory condition as to safety; and will repair any damage, unless damage thereto is caused by acts or omissions of Lessor in which case Lessor shall

reimburse Lessee for its costs and expenses incurred in effecting the repair. Lessee shall make alterations or modifications to the Leased Premises only with prior approval of Lessor. Upon termination of this Lease, Lessee agrees that it shall, within thirty (30) days and at its own expense, be responsible for the removal and dismantling of its antennas on Lessor's water tank, and any and all of Lessee's other equipment and improvements on the Property and Leased Premises, Lessee shall further be responsible for restoring as nearly as is reasonably possible the Leased Premises and any other portion of the Property which has been damaged, modified or altered by or on behalf of Lessee to their original condition at Lessee's sole cost and expense, reasonable wear and tear excepted. Lessee shall obtain and deliver to Lessor a Performance Bond in the amount of \$7,000.00 which shall provide reimbursement and compensation to the Lessor in the event the Lessee shall fail to perform the aforesaid removal, dismantling and restoration.

Lessor acknowledges that Lessee's transmitter and Site will be used in rendering a public utility service subject to the jurisdiction of the FCC and that Lessee's public utility service, its equipment building, transmitter and antennae may not be disconnected, terminated or interrupted in any manner without the approval of the FCC prior to any disconnection, termination or interruption. Lessor will not do any act or omit to do any act in violation of the terms of this Lease which would cause, directly or indirectly, any such disconnection, termination or interruption or the disconnection or termination of electrical service to Lessee's equipment building or equipment. However, Lessor may lease the property and/or Water Tank not leased by Lessee to other users for lawful purposes.

4. ACCESS:

Lessee shall have free access to the Leased Premises for the purpose of constructing, installing, operating, repairing and maintaining the Site, and, during the continuation of this Lease and any renewals thereof, ingress and egress is hereby granted to Lessee 24 hours a day, 365 days per year by the right of way specified on Exhibits A and B or as otherwise agreed to by Lessor and Lessee for such purposes. It is agreed, however, that only authorized engineers, employees, contractors, subcontractors, agents of Lessee, agents of Lessor, FCC Inspectors, or persons under their direct supervision will be permitted to enter the Leased Premises.

5. CONSTRUCTION BY LESSEE:

After obtaining the necessary permits and approvals therefor, Lessee at its sole cost and expense, shall construct and install the following improvements upon the Leased Premises:

Construction of a 192 square foot prefabricated equipment building to house Lessee's communications equipment. Said building may not exceed 10' in height. Construction of a four feet wide ten feet long sidewalk from the existing gate to the doorway of Lessee's equipment building, if needed.

Installation on Lessor's Water Tank of three (3) cellular antennas and transmission lines, which transmission lines shall be connected to the above referenced equipment building by means of a cable bridge. The exact mounting elevations on the water tank for Lessee's antennae shall be agreed upon by the parties in conjunction with their respective engineers as depicted on Exhibit B.

Construction of the Site shall be in accordance with the plans, drawings and specifications prepared and provided by Lessee attached hereto for Lessor's prior review and approval. Prior to Lessor's approval of plans, drawings and specifications, they shall be reviewed and approved by the Lessor's engineer. The cost of such review billed to Lessor shall be reimbursed by Lessee within 45 days of receipt date of invoice from Lessor.

Lessor's engineer shall inspect the tank before, during, and at completion of construction of Lessee's improvements. The cost of such review billed to Lessor shall be reimbursed by Lessee within 45 days of receipt date of invoice from Lessor.

Prior to commencement of any welding, Lessor shall verify to Lessee that the water level is at a minimum two (2) feet below any weld point. Any damage to the tank caused by the Lessee or its contractors shall be repaired as required by Lessor's engineer. Cost of such repair shall be the sole responsibility of Lessee. Should such damage occur in the interior of the tank, the Lessee shall also be responsible for disinfection of the tank in accordance with Virginia Department of Health regulations. The cost of such disinfection, including lost water, shall be the sole responsibility of the Lessee.

All construction, installation, use and operation of the Site by Lessee shall comply with all applicable rules and regulations of the FCC, FAA, and regulations of any government agency (town, county, state or federal) including, but not limited to the applicable requirement of the local planning and zoning and building and electrical codes of Clarke County and Berryville, Virginia. Lessee has the responsibility of carrying out the terms of its FCC license with respect to supporting structures, lighting requirements and notification to FAA. Lessee at its sole cost and expense, shall secure all necessary permits and approvals required to permit the construction and operation of the Site. Lessor agrees to cooperate with Lessee in any applications or submissions required to permit construction and operation of Lessee's site as described herein provided that Lessor shall be reimbursed for all expenses incurred in providing such cooperation.

Lessee agrees that FAA required lighting may not be relocated without Lessor's approval. Lessee agrees that no such relocation will be approved that will preclude Lessor's staff from performing routine maintenance such as changing light bulbs from the safety of the tank interior.

If, after the commencement of this Lease, Lessee is unable to occupy the Leased Premises due to the action of the FCC or by reason of any law, physical calamity, governmental prohibition or other reasons beyond Lessee's control so that Lessee in its sole discretion will be unable to carry out the purposes of its installation on the subject premises, this Lease may be canceled by Lessee upon thirty (30) days' written notice.

Lessee agrees that its equipment building, equipment, transmission lines and appurtenances thereto, and the construction, installation, maintenance, operation and removal thereof, shall not damage Lessor's property or interfere with the use of the Property by Lessor. Lessee shall indemnify and hold the Lessor harmless for any and all damage caused by Lessee or unreasonable radio interference caused by Lessee's operations. Lessee shall cause a Cathodic protection inspection to be performed after completion of the installation of Lessee's equipment and thereafter an inspection shall be performed only after any major modification of the Leased Premises by Lessee. Inspector shall be pre-approved by Lessor. The results of such inspection shall be provided in writing by Lessee to Lessor within ten (10) days of such inspection. In the event such inspection reveals a problem then the Lessee shall take all action necessary to correct the problem within thirty (30) days at Lessee's sole cost and expense.

The Lessor and Lessee agree that the Lessor may need to maintain the tank during the term of the lease including, but not limited to, painting. The Lessee further agrees to pay the additional cost to Lessor of painting and maintaining such water tank with the antenna and equipment of Lessee present on such tank. The Lessor shall provide the Lessee with ninety (90) days advanced, written notice of any such maintenance and its projected cost.

6. VARIANCE, PERMITS AND SITE SPECIFICATIONS:

Lessee's ability to use the Leased Premises is contingent upon its obtaining, after execution of this Lease, all of the certificates, permits and other approvals that may be required by Federal, State or Local authorities which will permit Lessee's use of the Leased Premises as set forth above. Lessee agrees to use commercially reasonable efforts to obtain all of the necessary certificates, permits and approvals which shall be obtained at Lessee's sole cost and expense. Lessor will cooperate with Lessee at Lessee's sole cost and expense, in its effort to obtain such approvals and shall take no action which would adversely affect the status of the Leased Premises with respect to the proposed use thereof by Lessee. In the event any such applications should be finally rejected or any certificate, permit, license or approval issued to Lessee is canceled, expires or lapses, or is otherwise withdrawn or canceled, expires or lapses, or is otherwise withdrawn or terminated by governmental authority, due to no fault of, or negligent act or omission by the Lessee, so that Lessee will be unable to use the Leased Premises for the purposes set forth herein, Lessee shall have the right to terminate this Lease. Prior written notification to Lessor of Lessee's intent to exercise its right to terminate this Lease shall be by receipted delivery and shall be effective upon receipt of such notice by Lessor as evidenced by the return receipt. All rentals paid to said termination date shall be retained by Lessor. Upon such termination, this Lease shall be null and void and the Parties shall have no further obligations, including the payment of monies, to each other except as otherwise provided herein.

7. FEASIBILITY:

Prior to the Commencement Date of this Lease, Lessee shall have access to the Leased Premises, with Town of Berryville representatives, for the purposes of undertaking any necessary tests, studies, and inspections relating to Lessee's

proposed use of the Leased Premises and at such times as Lessor and Lessee mutually agree. In the event Lessee is unable to utilize the Leased Premises for the purpose stated herein, and terminates this Lease pursuant to Sections 6 and 7, Lessee agrees that it shall restore the Leased Premises and such other portions of the Property that have been damaged, modified or altered by or on behalf of Lessee to their original condition within thirty (30) days after Lessee's removal from the Property.

8. INTERFERENCE:

Lessee agrees to install equipment of a type and frequency which will not cause frequency interference with other forms of radio frequency communications existing on Lessor's Property as of the date of this Lease. In the event Lessee's equipment causes such interference, Lessee agrees it will take all steps necessary to correct and eliminate the interference consistent with appropriate government rules and regulations upon receipt of written notification of the interference. If the interference is not corrected within thirty (30) days of receipt of notification (or such time as may reasonably be required with exercise of due diligence provided such repairs are begun within said 30 days), Lessee agrees to cease the operation of the equipment causing such interference until the interference can be cured. In the event the interference cannot be cured, the equipment shall be removed by Lessee at Lessee's expense. It is further agreed that Lessor will not allow any party to install any communications equipment on Lessor's Property without the prior written consent of Lessee. Such approval shall not be unreasonably withheld or delayed. In the event any equipment installed on Lessor's Property after the date hereof by a Lessee shall interfere with Lessee's transmission or reception, Lessor shall cooperate with Lessee (at Lessee's expense) in Lessee's attempts to cause such interference to be eliminated (including, without limitation, Lessee's attempts to enjoin the interference). If such interference is not eliminated within a reasonable time period, Lessee shall have the right, in addition to any other remedies it may have at law or in equity, to terminate this Lease upon ninety (90) days prior written notice to Lessor, and any prepaid rentals shall be reimbursed, without interest, to Lessee.

During the term of this Lease, engineering, legal or other concerns may make it necessary for the relocation and/or reorientation of LESSEE 's antennas on the premises. Upon LESSEE s request, LESSOR will work with LESSEE or reasonably

accomplish such relocation and/or orientation. LESSEE shall reimburse LESSOR's reasonable expenses directly related to such relocation and/or reorientation. Should LESSOR (i) be unwilling or unable to allow or (ii) materially hamper such relocation and/or reorientation, LESSEE shall have the right to terminate this Lease upon thirty (30) days notice to LESSOR.

9. DEFAULT:

If the rent or any installment thereof shall remain unpaid more than ten (10) days after receipt by Lessee of notice that such money was not received when it was due, or if Lessee or its assigns shall fail or neglect to keep and perform each and every one of the terms of this Lease Agreement and such failure or neglect continues for more than thirty (30) days (or such longer period as may reasonably be required to correct the default with exercise of due diligence), after written notice from Lessor specifying the default, then at the option of Lessor, Lessee's right of possession shall thereupon end and Lessor may pursue any legal remedies available to Lessor. If Lessor files an action to enforce any agreement contained in this Lease, or for breach of any covenant or condition and Lessor prevails in such action, Lessee shall pay all of Lessor's attorney's fees for the services of Lessor's attorney in such collection and court costs, and any and all fees to be fixed by the court.

If Lessor shall fail or neglect to keep and perform each and every one of the covenants, conditions and agreements contained herein, and such failure or neglect is not remedied within thirty (30) days (or such period as may reasonably be required to correct the default with exercise of due diligence), after written notice from Lessee specifying the default, then Lessee may pursue any legal remedies available to Lessee. If Lessee files an action to enforce any agreement contained in this Lease, or for breach of any covenant or condition and Lessee prevails in such action, Lessor shall pay Lessee's reasonable attorney's fees for the services of Lessee's attorney in the action and court costs, all fees to be fixed by the court. No default as hereinabove provided shall be deemed complete unless at the time Lessor or Lessee fails to take any action based upon such alleged default, the same shall remain uncured. The fact that Lessee may cease using its communications equipment at the Leased Premises for a period of time shall not constitute a default of this Lease nor operate as an abandonment of the Leased Premises.

10. INSURANCE:

Lessee shall at all times during the term hereof and at Lessee's sole cost and Expense maintain in effect Workmen s Compensation Insurance and Personal Injury and Property Damage Liability Insurance, to protect against liability for injury or death of any person in connection with the use, operation and condition of the Leased Premises, in an amount not less than One Million Dollars (\$1,000,000) of combined single limit Personal Injury and Property Damage coverage. Such policy shall cover the entire Leased Premises and name Lessor as an additional insured.

11. ENVIRONMENTAL:

Lessor is not aware and has no knowledge of any asbestos or other hazardous substance being on any part of the Water Tank or Property where it expects Lessee, its employees, agents or contractors will be while performing under this Lease.

Lessee agrees, prior to construction, to provide Lessor with information pertaining to any health hazards posed by the operation of Lessee's equipment. Lessor's staff and contractors shall be able to repair and perform maintenance on Water Tank and appurtenances in conditions meeting all workplace safety requirements promulgated by federal and state agencies.

12. INDEMNIFICATION:

Lessee shall indemnify and hold Lessor harmless against any claim of liability or loss from personal injury or property damage, which may arise out of Lessee s negligence or willful misconduct in connection with the Leased Premises, excepting, however, such claims or damages as may be attributable in whole or in part to the acts or omissions of the Lessor, or its agents, servants or contractors.

13. NOTICES:

All notices, payments, demands and requests hereunder shall be in writing and shall be deemed to have been properly given when mailed by United States First Class, Registered or Certified Mail, postage prepaid (or another delivery method providing verification of delivery) and addressed to the intended party as follows:

Lessor: Town Manager
Town of Berryville
23 E. Main Street
Berryville, Virginia 22611

Lessee: Triton PCS Property Company, L.L.C.
4880 Sadler Avenue, Suite 300
Glen Allen, Virginia 23060

or such other addresses as either or the parties may designate from time to time by giving written notice as herein required.

14. ASSIGNMENTS OR SUBLETING:

This lease may not be sublet, sold, assigned, or transferred at any time without the prior written approval of Lessor, which approval shall not be unreasonably withheld, conditioned or delayed. Notwithstanding the foregoing, Lessee may assign or sublet this Lease without the approval of Lessor (i) to any affiliate of Lessee or (ii) in connection with the sale of all or substantially all of the assets or equity interests of Lessee. However, the Lessee shall remain primarily liable under the terms of this Lease.

15. INSPECTIONS:

Lessee shall allow Lessor or its agent, for the purpose of inspecting the Leased Premises, to enter the Leased Premises or any part thereof at any reasonable time and in a manner so as not to interfere with Lessee's use of the Site. Any such inspection shall only be made while Lessor or its agent is accompanied by representative of Lessee.

16. QUIET ENJOYMENT:

Lessee shall be entitled to use and occupy the Leased Premises during the term hereof for the purposes herein permitted and subject to the terms and conditions herein contained, without molestation or interference by Lessor, or any claiming thereunder.

17. CONDEMNATION:

If all or any part of the Leased Premises, or if all or any part of the Parcel or access right of way to the Leased Premises is taken by eminent domain or other action by jurisdictions having the legal right to take said land, and if said taking in the sole opinion of Lessee renders the Leased Premises unusable for its intended purposes hereunder the, at Lessee's option, this Lease may be declared null and void and of no further force and effect and there will be no further payment of rents except that which may have been due and payable at the time of said taking. In the event of a partial taking and Lessee, in its sole discretion, wishes to maintain its operation, Lessor shall reduce the rental on the Leased Premises by an amount proportionate to the part of the Leased Premises taken by eminent domain or other such legal action.

18. SALE, MORTGAGE, OWNERSHIP OR PARCEL:

Lessor covenants that Lessor is seized of good and sufficient title and interest to the property and has full authority to enter into and execute this Lease. If Lessor is not the owner of the real property forming part of the Leased Premises, Lessor shall supply Lessee the name of such owner and evidence of Lessor's authority from such owner to enter into this Lease.

At Lessor's option, this Lease shall be subordinate to any deed of trust by Lessor which from time to time may encumber all or part of the Leased Premises or right of way thereto; provided, however, every such deed of trust shall recognize the validity of this Lease in the event of a foreclosure of Lessor's interest and also Lessee's right to remain in occupancy of and have access to the Leased Premises as long as Lessee is not in default of this Lease. Lessee shall execute whatever instruments may reasonable be required to evidence this subordinate clause. In the event the Site is encumbered by a deed of trust, Lessor, immediately after this option is exercised, will obtain and furnish to Lessee, a non-disturbance instrument for each such deed of trust in recordable form.

Any sale or transfer (including assignment or transfer by law) by Lessor of all or part of the Leased Premises to a third party other than Lessee shall be under and subject to this Lease and Lessee's fights hereunder.

19. GOVERNING LAW:

This Lease and the performance thereof shall be governed, interpreted, construed and regulated by the laws of the State of Virginia.

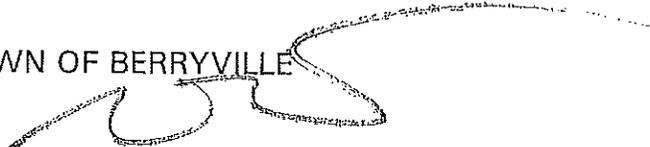
20. MISCELLANEOUS:

This Lease Agreement, consisting of fourteen (14) pages, plus Exhibits A and B contains the entire agreement between the parties and may not be amended, altered or otherwise changed except by a subsequent writing signed by the parties to this Lease. The invalidation of any one of the terms or provisions of this Lease by judgement or court order shall in no way affect any of the other terms of this Lease which shall remain in full force and effect. Lessor and Lessee agree to execute any additional documents necessary to further implement the purpose and intent of this Lease.

IN WITNESS WHEREOF, the parties hereto have set their hand the _____ day of _____, 2001.

LESSOR:

TOWN OF BERRYVILLE

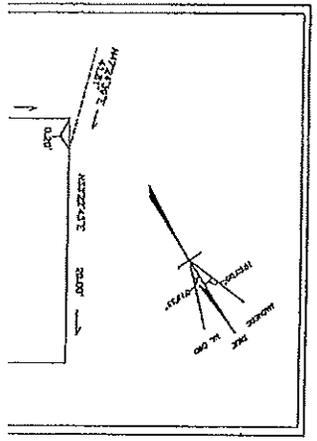
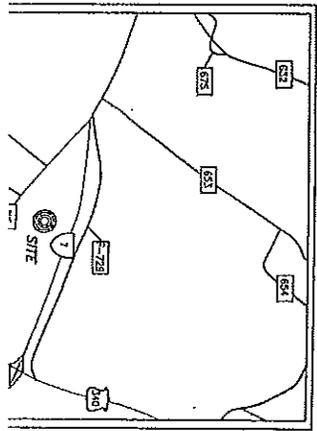
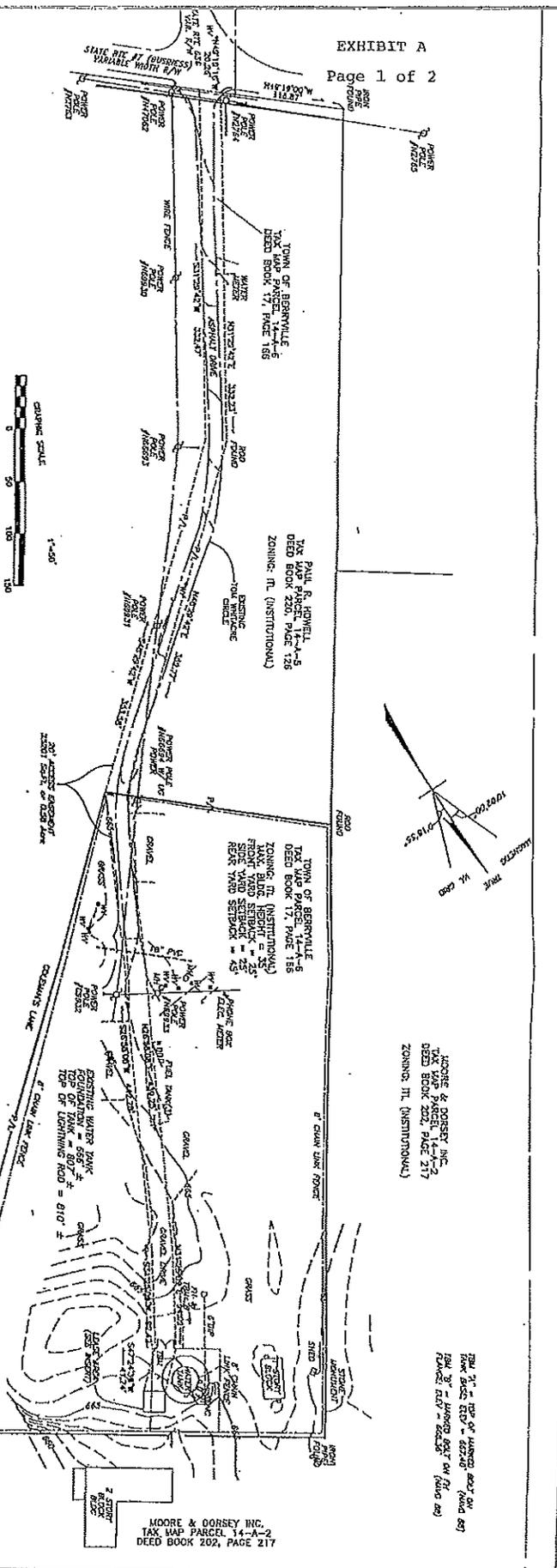
By: 
Name: KEITH DALTON
Title: TOWN MANAGER

LESSEE:

TRITON PCS PROPERTY COMPANY L.L.C.
By: TRITON MANAGEMENT COMPANY, INC.
Its manager

By: 
Name: _____
Title: _____

1. FOR THE PURPOSES OF THIS PLAN, DEED BOOK 17, PAGE 158, IS THE REFERENCE TO THE DEED RECORDING OF THE TRACT DESCRIBED IN THE NOTES HEREON.
2. THE PROPERTY AND INTEREST THEREIN AS SHOWN IS BASED ON A CURRENT FIELD SURVEY AND LEGAL DESCRIPTION AND AS SUCH, THE LEGAL DESCRIPTIONS AND INTERESTS SHOWN ON THIS PLAN ARE SUBJECT TO THE LEGAL DESCRIPTIONS AND INTERESTS SHOWN ON THE DEED RECORDING OF THE TRACT DESCRIBED IN THE NOTES HEREON.
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NO.	DATE	REVISION
1	11-14-12	ISSUED FOR PERMIT
2	11-14-12	ISSUED FOR PERMIT
3	11-14-12	ISSUED FOR PERMIT
4	11-14-12	ISSUED FOR PERMIT
5	11-14-12	ISSUED FOR PERMIT
6	11-14-12	ISSUED FOR PERMIT
7	11-14-12	ISSUED FOR PERMIT
8	11-14-12	ISSUED FOR PERMIT
9	11-14-12	ISSUED FOR PERMIT
10	11-14-12	ISSUED FOR PERMIT

EXHIBIT A

Page 2 of 2

Access Easement

A non-exclusive access easement is granted to the Lessee to access the Lessors Property. Said easement is granted along Tom Whitacre Circle and from Tom Whitacre Circle across all-weather surface (stone or paved) to the gate on the south side of the 60'x80' fenced area, as represented on Page 1 of Exhibit "A".

Utility Easement

A fifteen (15) foot wide non-exclusive utility easement is granted to the Lessee to construct, maintain, operate and repair underground communication and electrical power lines and systems along the southern, western, and northern property boundaries, as represented on Page 1 of Exhibit "A". Said easement width shall be measured from the property line. No such utility or line shall be installed closer than 5 feet to the existing chain link fence.

Market: Baltimore/Washington
Cell Site Number: 3405
Cell Site Name: Town of Berryville
Fixed Asset Number: 10068492

FIRST AMENDMENT TO WATER TANK SITE LEASE AGREEMENT

THIS FIRST AMENDMENT TO WATER TANK SITE LEASE AGREEMENT ("First Amendment"), dated as of the latter of the signature dates below, is by and between **Town of Berryville, VA, a Virginia municipal corporation** having a mailing address of 101 Chalmers Court, Berryville, Virginia, 22611 ("LESSOR") and **New Cingular Wireless PCS, LLC, a Delaware limited liability company**, successor in interest to Triton PCS Property Company, LLC, having a mailing address of 12555 Cingular Way, Suite 1300, Alpharetta, GA 30004 ("LESSEE").

WHEREAS, Lessor and Lessee entered into a Water Tank Site Lease Agreement dated June 29, 2001, whereby Lessor leased to Lessee certain Premises, therein described, for the location of up to three (3) antennae on the Lessor's water tank, being a portion of the Property situated off Tom Whitacre Circle adjacent to the Town of Berryville, in Clarke County, Virginia ("Agreement"); and

WHEREAS, in 2006 Lessor and Lessee agreed to an unwritten amendment of the Agreement to permit an additional three (3) antennae and for a Two Hundred Dollar (\$200.00) per month increase in the rent, subject to the annual adjustment provided for in the Agreement; and

WHEREAS, the Lessee currently has located six (6) antennae on the water tank, and currently pays a monthly rent of \$2,379.67; and

WHEREAS, Lessor and Lessee desire to amend the Agreement to allow for the installation of additional antennas, associated cables and other communications instruments; and

WHEREAS, Lessor and Lessee desire to adjust the rent in conjunction with the modifications to the Agreement contained herein; and

WHEREAS, Lessor and Lessee desire to amend the Agreement to modify the notice section thereof; and

WHEREAS, Lessor and Lessee desire to amend the Agreement to permit Lessee to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services; and

WHEREAS, Lessor and Lessee, in their mutual interest, wish to amend the Agreement as set forth below accordingly.

NOW THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Lessor and Lessee agree as follows:

- 1. Additional Antennas.** Lessor consents to the installation and operation of three (3) additional antennas, associated cables and equipment as more completely described on attached Exhibit B-1. Lessor's execution of this Amendment will signify Lessors's approval of Exhibit B-1. Exhibit B-1 hereby replaces Exhibit B to the Agreement.

Lessor agrees to the following as a final configuration:

- (9) Panel antennas
- (6) TMA
- (6) Diplexers
- (12) 1-5/8" coax
- (6) RRH
- (1) DC6
- (3) Junction boxes
- (1) Fiber cable
- (2) DC Power cables

- 2. Rent.** Commencing on the first day of the month following the date that Lessee commences construction (the "Rent Commencement Date"), Rent shall be increased by Two Hundred Dollars (\$200.00) per month to the amount of \$2,579.67 per month, subject to adjustments as provided in the Agreement. Upon Lessee's removal of all antennae added pursuant to this First Amendment and thirty (30) days prior written notice to Lessor, the rent shall reduce by Two Hundred Dollars (\$200.00) per month.

- 3. Notices.** Section 13 of the Agreement is hereby deleted in its entirety and replaced with the following:

NOTICES. All notices, requests, demands and communications hereunder will be given by first class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid, to be effective when properly sent and received, refused or returned undelivered. Notices will be addressed to the parties as follows.

If to Tenant: New Cingular Wireless PCS, LLC
Attn: Network Real Estate Administration
Re: Cell Site #: 3405; Cell Site Name: Town of Berryville (VA)
FA No: 10068492
12555 Cingular Way, Suite 1300
Alpharetta, GA 30004

With a copy to: New Cingular Wireless PCS, LLC
Attn: Legal Department
Re: Cell Site #: 3405; Cell Site Name: Town of Berryville (VA)
FA No: 10068492
15 East Midland Ave.

Paramus, NJ 07652

The copy sent to the Legal Department is an administrative step which alone does not constitute legal notice.

If to Landlord: Town Manager
Town of Berryville
101 Chalmers Court
Berryville, VA 22611

Either party hereto may change the place for the giving of notice to it by thirty (30) days prior written notice to the other as provided herein.

4. Emergency 911 Service. In the future, without the payment of additional rent and at a location mutually acceptable to Lessor and Lessee, Lessor agrees that Lessee may add, modify, and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services.

5. Memorandum of Lease. Either party will, at any time upon fifteen (15) days prior written notice from the other, execute, acknowledge, and deliver to the other a recordable Memorandum of Lease substantially in the form of the Attachment 1. Either party may record this memorandum at any time, in its absolute discretion.

6. Other Terms and Conditions Remain In the event of any inconsistencies between the Agreement and this First Amendment, the terms of this First Amendment shall control. Except as expressly set forth in this First Amendment, the Agreement otherwise is unmodified and remains in full force and effect. Each reference in the Agreement to itself shall be deemed also to refer to this First Amendment.

7. Capitalized Terms. All capitalized terms used but not defined herein shall have the same meanings as defined in the Agreement.

[signatures on following page]

IN WITNESS WHEREOF, the parties have caused their properly authorized representatives to execute and seal this First Amendment on the dates set forth below.

“LESSOR”

Town of Berryville

By: 

Name: KESTH DAMON

Title: Town Manager

Date: 5/20/13

“LESSEE”

New Cingular Wireless PCS, LLC

By: AT&T Mobility Corporation

Its: Manager

By: 

Name: _____

Title: Carolyn Mitchell

~~Data~~ Manager Real Estate and Construction

AT&T Mobility 3/19/13

[ACKNOWLEDGEMENTS APPEAR ON NEXT PAGE]

LESSEE ACKNOWLEDGEMENT

STATE OF Maryland

COUNTY OF Charles

The foregoing instrument was acknowledged before me this 19th Mar '13 (date) by Carolyn Mitchell (name and title of officer or agent) of Area Mgr. BECA Delaware (state or place of incorporation) limited liability company, on behalf of the limited liability company.

[Signature]
Notary Public

Printed Name: _____
My Commission Expires: _____

BARBARA FRANCIS Notary Public-Maryland Charles County My Commission Expires September 27, 2013
--

LESSOR ACKNOWLEDGEMENT

Corporation:

STATE OF Virginia

COUNTY OF Chaste

The foregoing instrument was acknowledged before me this 20th MAY 2013 (date) by Keith Dalton (name and title of officer or agent) of Town of Rockyville Virginia (state or place of incorporation) corporation, on behalf of the corporation.

[Signature]
Notary Public

Printed Name: Laura L Patten
My Commission Expires: March 31, 2014

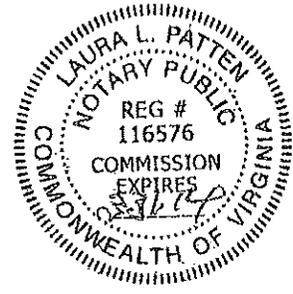


EXHIBIT B-1

Notes:

1. THIS EXHIBIT MAY BE REPLACED BY A LAND SURVEY AND/OR CONSTRUCTION DRAWINGS OF THE PREMISES ONCE RECEIVED BY TENANT.
2. ANY SETBACK OF THE PREMISES FROM THE PROPERTY'S BOUNDARIES SHALL BE THE DISTANCE REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES.
3. WIDTH OF ACCESS ROAD SHALL BE THE WIDTH REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES, INCLUDING POLICE AND FIRE DEPARTMENTS.
4. THE TYPE, NUMBER AND MOUNTING POSITIONS AND LOCATIONS OF ANTENNAS AND TRANSMISSION LINES ARE ILLUSTRATIVE ONLY. ACTUAL TYPES, NUMBERS AND MOUNTING POSITIONS MAY VARY FROM WHAT IS SHOWN ABOVE.

PROJECT DESCRIPTION

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7150 STANDARD DRIVE
HANOVER, MD 21076

APPLICANT REPRESENTATIVE:

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COLUMBIA, MD 21046

CONSULTANT:

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APPLICABLE BUILDING CODES AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (A&O) FOR THE LOCATION. THE LATEST EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE:

INTERNATIONAL BUILDING CODE (IBC), 2009 AS ADOPTED BY THE STATE OF VIRGINIA
ELECTRICAL CODE
NATIONAL ELECTRICAL ASSOCIATION (NECA) 70 - 2011, NATIONAL ELECTRICAL CODE, AS ADOPTED BY THE STATE OF MARYLAND
LIGHTNING PROTECTION CODE
NFPA 720 - 2003, LIGHTNING PROTECTION CODE

CONCRETE:

AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
ANSI/AIA 322-C, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING TOWER

TELECOMMUNICATIONS:

ANSI T1.511, FOR TELECOM - DC POWER SYSTEMS - TELECOM ENVIRONMENTAL PROTECTION FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIALS, METHODS, AND PROCEDURES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

TELECOMMUNICATIONS:

IEEE C2 NATIONAL ELECTRIC SAFETY CODE, LATEST VERSION
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APPLICANT REPRESENTATIVE:

BECHTEL COMMUNICATIONS
9200 BERGER ROAD
COLUMBIA, MD 21046

CONSULTANT:

DEWBERRY ENGINEERS INC.
SUITE F
133 GANTHER DRIVE
MT. LAUREL, NJ 08054
MR. LAUREL NICK SHERRELL, PE
COLUMBIA, MD 21046
CELLPHONE: (410) 521-7270
FAX: (410) 521-0646

RF DATA SHEET

ALL ELEVATIONS MUST BE CONTRACT VA UTILITY LOCATORS (811) OR 1-800-552-7037 AT LEAST 5 BUSINESS DAYS PRIOR TO EXCAVATION, AS REQUIRED BY L&P

DRAWING INDEX

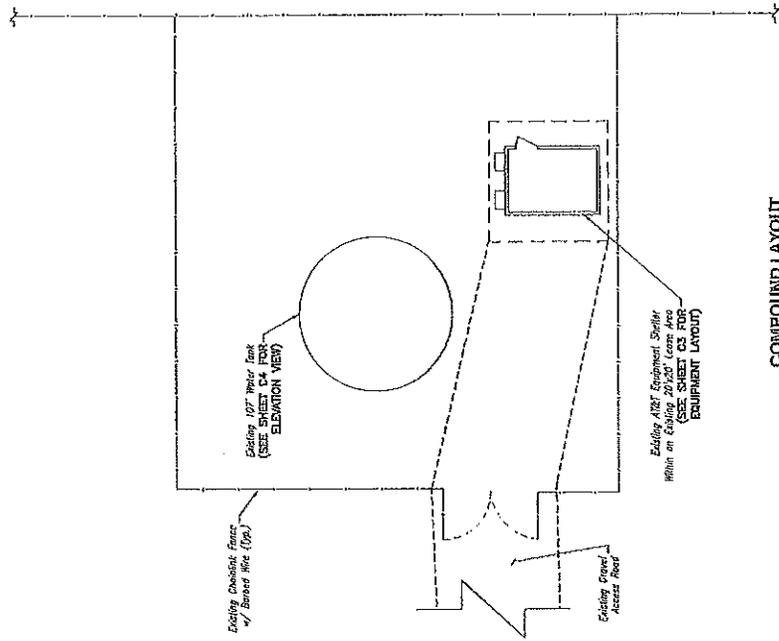
REV	DESCRIPTION
3	TITLE SHEET
2	GENERAL AND PROJECT NOTES
1	SITE PLAN
0	SCOPE OF WORK AND ELEVATION LAYOUT
0	ANTENNA DETAILS AND ELEVATION VIEW
0	GPS ANTENNA DETAILS
0	RRH AND DISTRIBUTION BOX DETAILS
0	EQUIPMENT CABINET DETAILS
0	RAYCAP DCS, CONDUIT AND HATCH PLATE DETAILS
0	TELECOM/GSM DUAL BAND DUAL POLARIZATION ANTENNA (TYP.)
1	ANTENNA MOUNTING DETAILS
0	ELECTRICAL GENERAL NOTES
1	SYSTEM DIAGRAM
1	LTE CONNECTION CODE AND AC SINGLE-LINE DIAGRAM
1	DCS CONNECTION DIAGRAMS
1	WIRING DIAGRAM
1	LTE CONDUCTOR SIZES, CABLE REPLACEMENT AND SMOKE
1	HYDROGEN DETECTOR WIRING DIAGRAM
1	RET CONTROL DIAGRAM
1	LTE CROSS SECTOR REDUNDANCY FEATURE
0	CSRR JUMPER COAX COLOR CODE, AC PANEL SCHEDULE AND DC CALCULATION
1	GE INFINITY-M - CONNECTION DIAGRAM AND DC PANEL SCHEDULE
0	L4-VA-3405-E10
0	L4-VA-3405-E11
0	L4-VA-3405-E12
0	GROUNDING DETAILS - 1
0	GROUNDING DETAILS - 2
0	GROUNDING DETAILS - 3

NOTE: SEE COMPANION PACKAGE FOR GENERIC DETAILS DOCUMENT # 25736-000-A38-0000-00001 (LATEST REVISION)

VERIFY ALL PLANS AND CONDITIONS TO BE INSTALLED AT THE SPECIFIC SITE AND ITS SITE CONDITIONS AND IS NOT TO BE USED FOR ANOTHER SITE OR WHEN OTHER CONDITIONS PERTAIN. REUSE OF THIS DOCUMENT IS AT THE SOLE RISK OF THE USER.

BECHTEL COMMUNICATIONS
9200 BERGER ROAD
COLUMBIA, MD 21046

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FAX: (410



COMPOUND LAYOUT
 DRAWING SCALE: 1" = 10'
 (IN FEET)
 SCALE: 1" = 10' FOR 24"x36" DRAWINGS
 DO NOT SCALE 11"x17" DRAWINGS

PROJECT COMPLIANCE NOTES:

1. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE AND IS NOT FOR HUMAN HABITAT. (NO HANDICAP ACCESS IS REQUIRED).
2. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY AT&T TECHNICIANS.
3. NO DENSE SMOKE, DUST, OR ODOR WILL RESULT FROM THIS PROPOSAL.
4. OUTDOOR STORAGE AND SOLID WASTE CONTAINERS ARE NOT PROPOSED.
5. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST AT&T SYSTEM GROUNDING STANDARDS. TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSI/OPDS WIRELESS SITES, BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS. THE DRAWINGS SHALL GOVERN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED DURING CONSTRUCTION OPERATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION.
8. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
9. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM DRAWINGS PROVIDED BY THE APPLICABLE REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AT&T OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
10. NO ADDITIONAL PARKING IS PROPOSED. EXISTING ACCESS AND PARKING WILL BE USED.
11. NO ADDITIONAL LANDSCAPING IS PROPOSED AT THIS SITE.
- 12.

CORD DIAMETER	TYPICAL MANHOLE BEND RADIUS	COMPASS COPE
1/2" SUPERTEK	1.25'	-
7/8"	5'	3"
1 1/4"	10'	5"
1 5/8"	15'	6"
2"	20'	15"

13. ALL COAXIAL CABLE INSTALLATION TO FOLLOW MANUFACTURER'S INSTRUCTIONS.
14. ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE LOCAL JURISDICTIONS GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
 1. TIA/EIA-924-C
 2. PRE/AIR SAFETY NEP 2004.
 3. LOCAL BUILDING CODE
 4. CITY/COUNTY ORDINANCES.

GENERAL NOTES:

1. THE SUBCONTRACTOR SHALL OBEY ALL NOTICES AND REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES AND ORDINANCES. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION.
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Dewberry
 Dewberry Engineers Inc.
 9200 BERGER ROAD
 COLUMBIA, MD 21046

SITE NAME: TOWN OF BERRYVILLE - WCS27
SITE ID NUMBER: 3405

201 TOM WHITAKER CIRCLE
 BERRYVILLE, VA 22811

AT&T
 RESIDUAL

7150 STANFORD DRIVE
 HANOVER, MD 21076

GENERAL AND PROJECT NOTES

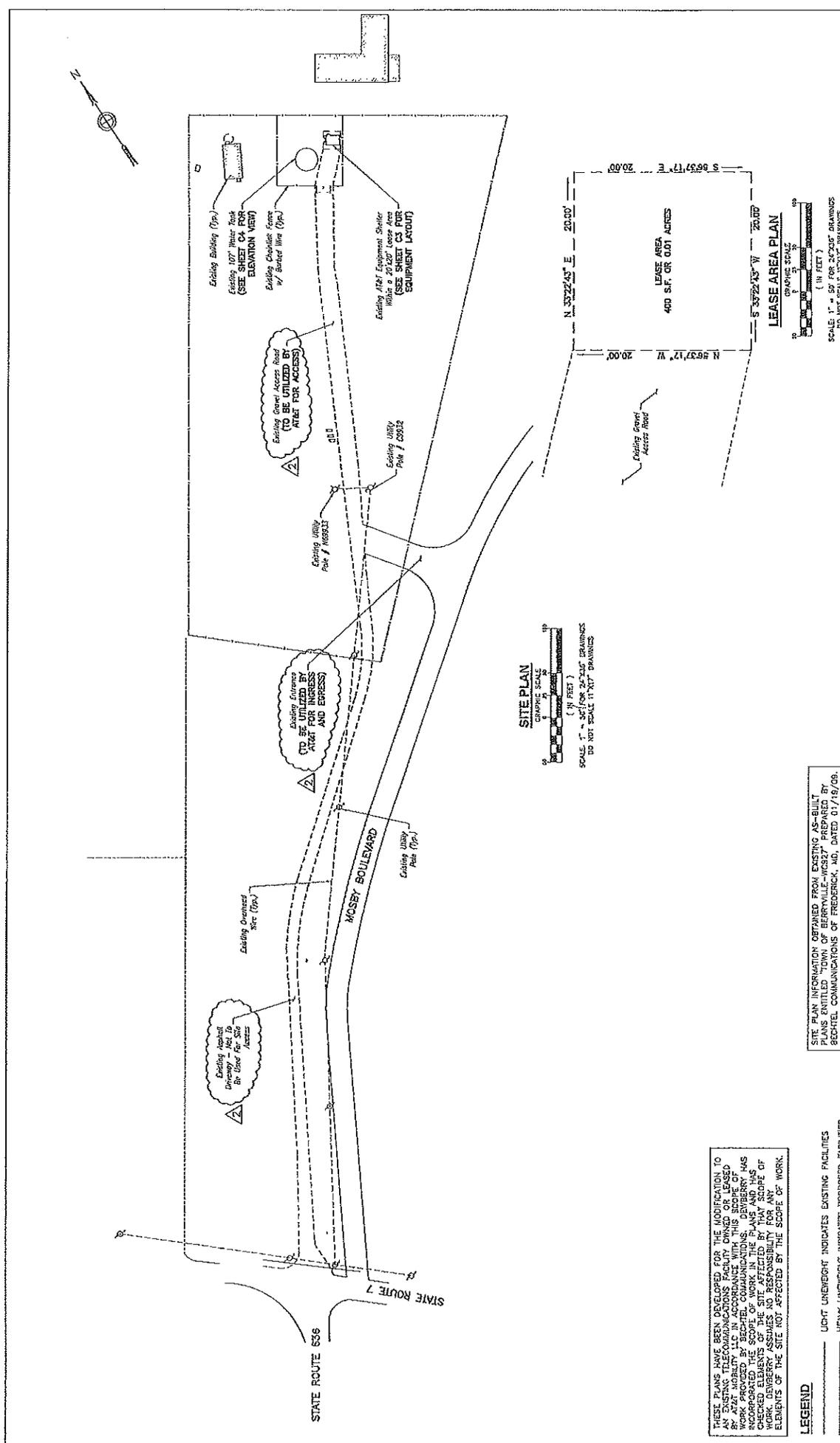
257-25-035 L4-10-3405-C1 0

BECHTEL COMMUNICATIONS
 9200 BERGER ROAD
 COLUMBIA, MD 21046

AT&T
 LTE PROJECT

AT&T
 RESIDUAL

257-25-035 L4-10-3405-C1 0



SITE PLAN
 GRAPHIC SCALE
 (IN FEET)
 SCALE: 1" = 30' FOR 24"x36" DRAWINGS
 DO NOT SCALE FROM DRAWINGS

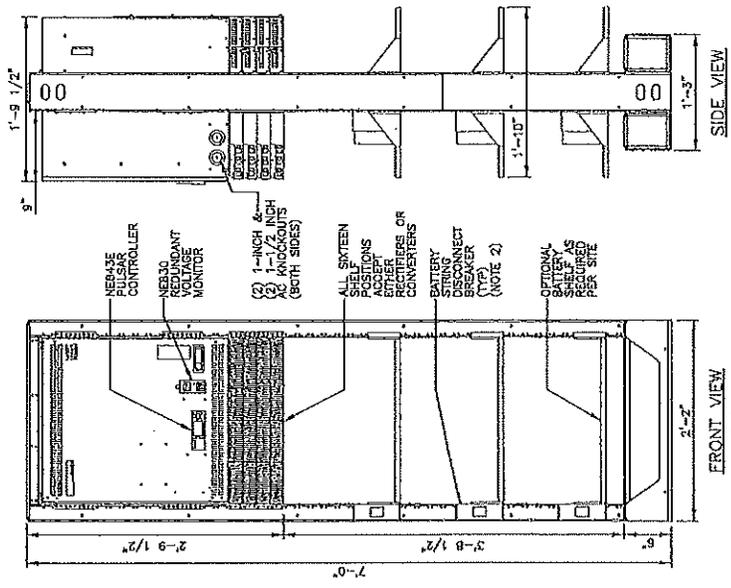
LEASE AREA PLAN
 GRAPHIC SCALE
 (IN FEET)
 SCALE: 1" = 50' FOR 24"x36" DRAWINGS
 DO NOT SCALE FROM DRAWINGS

THESE PLANS HAVE BEEN PREPARED FOR THE USE OF THE TOWN OF BERRYVILLE, MD. AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF DEWBERRY. DEWBERRY HAS CHECKED ELEMENTS OF THE SITE AFFECTED BY THIS SCOPE OF WORK. DEWBERRY ASSUMES NO RESPONSIBILITY FOR ANY ELEMENTS OF THE SITE NOT AFFECTED BY THE SCOPE OF WORK.

LEGEND
 LIGHT UNWEIGHT INDICATES EXISTING FACILITIES
 HEAVY UNWEIGHT INDICATES PROPOSED FACILITIES

SITE PLAN INFORMATION OBTAINED FROM EXISTING AS-BUILT PLANS ENTITLED "TOWN OF BERRYVILLE-WC927" PREPARED BY BECHTEL COMMUNICATIONS OF FREDERICK, MD, DATED 01/15/09.

 BECHTEL COMMUNICATIONS 9200 BERGER ROAD COLUMBIA, MD 21046	 Dewberry Engineering 10000 WILSON ROAD FREDERICK, MD 21704	 7150 STANDARD DRIVE HANOVER, MD 21076	SITE NAME: TOWN OF BERRYVILLE - WC927 SITE ID NUMBER: 3405 201 TOM WHITACRE CIRCLE BERRYVILLE, VA 22811	AT&T LTE PROJECT	SITE PLAN	
			JOB # 5055981	25726-435	25726-435	25726-435
			21/02/13 11/28/13 11/28/13	21/02/13 11/28/13 11/28/13	21/02/13 11/28/13 11/28/13	21/02/13 11/28/13 11/28/13



WEIGHT:
 FRAME W/ DC POWER SYSTEM AND 1/3 BATTERIES = 455lb
 BATTERY SHELF W/ (4) 155AH BATTERIES = APPROXIMATELY 500lb PER SHELF

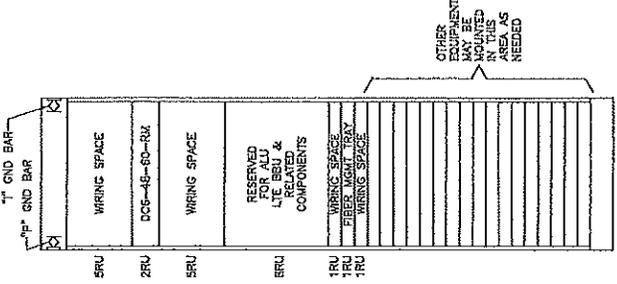
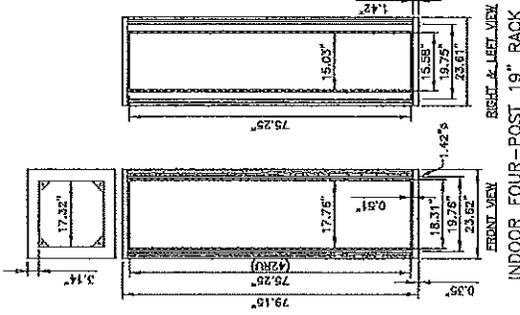
CLEARANCE:
 FRONT = 36"
 REAR = 24"
 SIDES = 2"

NOTES:
 1. GE/LINEAGE FLOOR ANCHOR KIT (8473688) MAY BE USED UNLESS LOCAL REQUIREMENTS GOVERN.
 2. DISCONNECT MAY BE MOUNTED TO EITHER SIDE OF TRAY OR DIRECTLY TO FRAMEWORK PER MANUFACTURER. FRAME IS SEISMIC COMPLIANT UP TO 3 BATTERY SHELVES.

DETAIL 1198
 MTS

GE/LINEAGE-M DC POWER SYSTEM IN FULL HEIGHT RACK

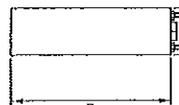
MOUNTING PATTERN
 2 1/2" (Top Flange)
 1 1/2" (Middle Flange)
 2 1/2" (Bottom Flange)
 1'-9" (Total Width)
 2'-2" (Total Height)



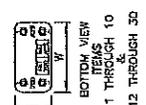
RACK LAYOUT FOR LITE EQUIPMENT WITH SURGE SUPPRESSORS AND WITHOUT CONVERTER

DETAIL 1116A
 MTS

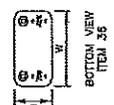
	EQUIPMENT CABINET DETAILS JOB NUMBER: 25735-435 DRAWING NUMBER: L4-VA-3405-0710	
	SITE NAME: TOWN OF BERRYVILLE - WC927 SITE ID NUMBER: 3405 201 TOM WHITACRE CIRCLE BERRYVILLE, VA 22811	
BECHTEL COMMUNICATIONS 9200 BERGER ROAD COLUMBIA, MD 21046		7150 STANDARD DRIVE MANOYER, MD 21076
	INDOOR FOUR-POST 19" RACK	
	DETAIL 1126A MTS	
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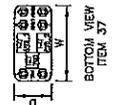
FRONT



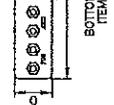
BOTTOM



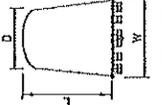
BOTTOM



BOTTOM



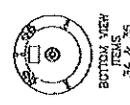
BOTTOM



FRONT



BOTTOM



BOTTOM

ITEM#	MANUFACTURER	MODEL	BAND	FREQUENCIES, MHz	POLARIZATION	RET	L, IN	W, IN	D, IN	WEIGHT, LB
1	ANDREW	DBXNH-6565A-R2M	DUAL	698-896 1710-2180	DUAL	INSTALLED	50.8	11.8	7.1	34.2
2	ANDREW	DBXNH-6565B-R2M	DUAL	698-896 1710-2180	DUAL	INSTALLED	72.7	11.8	7.1	46.3
3	ANDREW	DBXNH-6565A-R2M	DUAL	698-896 1710-2180	DUAL	INSTALLED	51.1	11.8	7.1	32.0
4	ANDREW	DBXNH-6565B-R2M	DUAL	698-896 1710-2180	DUAL	INSTALLED	72.8	11.8	7.1	46.2
5	ANDREW	SBNH-106585C	DUAL	698-896 1710-2180	DUAL	INSTALLED	96.4	13.8	7.1	57.3
6	ANDREW	SBNH-106585C	DUAL	698-896 1710-2180	DUAL	INSTALLED	96.4	11.8	7.1	50.8
7	ANDREW	SBNH-106565B	DUAL	698-896 1710-2180	DUAL	INSTALLED	72.7	11.8	7.1	47.4
8	ANDREW	SBNH-106585B	DUAL	698-896 1710-2180	DUAL	INSTALLED	72.8	11.8	7.1	46.0
9	ANDREW	SBNH-106545A	DUAL	698-896 1710-2180	DUAL	INSTALLED	56.7	16.2	7.1	39.7
10	ANDREW	SBNH-106585A	DUAL	698-896 1710-2180	DUAL	INSTALLED	50.9	11.8	7.1	38.4
11	ARGUS	2UNSP203L6R2	DUAL	698-894 1710-2170	DUAL	INSTALLED	66.7	22.2	5.0	56.1
12	KATHREIN	800-10735 K	DUAL	698-894 1710-2170	DUAL	INSTALLED	76.5	11.8	6.0	51.9
13	KATHREIN	800-10721 K	DUAL	698-894 1710-2170	DUAL	INSTALLED	54.9	11.8	6.0	45.2
14	KATHREIN	800-10722 K	DUAL	698-894 1710-2170	DUAL	INSTALLED	55.2	11.8	6.0	40.9
15	KATHREIN	800-10722 K	DUAL	698-894 1710-2170	DUAL	INSTALLED	72.0	11.8	6.0	57.2
16	KATHREIN	800-10765 K	DUAL	698-894 1710-2170	DUAL	INSTALLED	96.0	11.8	6.0	58.4
17	KATHREIN	800-10723 K	DUAL	698-894 1710-2170	DUAL	INSTALLED	93.2	11.8	6.0	62.3
18	KATHREIN	840-10525	DUAL	698-894 1710-2170	DUAL	COMPATIBLE	24.8	10.3	5.5	15.9
19	KW	AM-X-CD-14-65-DOT-RET	DUAL	698-894 1710-2170	DUAL	INSTALLED	48.0	11.8	5.8	36.4

NOTE: ANDREW IS A BRAND OF COMMSCOPE.

ITEM#	MANUFACTURER	MODEL	BAND	FREQUENCIES, MHz	POLARIZATION	RET	L, IN	W, IN	D, IN	WEIGHT, LB
20	KW	AM-X-CD-16-65-DOT-RET	DUAL	698-894 1710-2170	DUAL	INSTALLED	72.0	11.8	5.9	48.5
21	KW	AM-X-CD-17-65-DOT-RET	DUAL	698-894 1710-2170	DUAL	INSTALLED	96.0	11.8	6.0	56.5
22	KW	AM-X-CD-18-65-DOT-RET	DUAL	698-894 1710-2170	DUAL	INSTALLED	72.0	11.8	5.9	48.5
23	KW	ET-X-CD-16-10-15-18-RR-XI	DUAL	698-894 1710-2170	DUAL	COMPATIBLE	68.0	15.2	7.1	46.3
24	POWERWAVE	P65-15-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	61.0	12.0	6.0	30.0
25	POWERWAVE	P65-16-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	72.0	12.0	6.0	53.0
26	POWERWAVE	P65-17-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	96.0	12.0	6.0	55.0
27	POWERWAVE	P90-14-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	48.0	12.0	7.3	30.0
28	POWERWAVE	P90-15-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	72.0	12.0	7.3	24.0
29	POWERWAVE	P90-16-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	96.0	12.0	8.0	27.0
30	POWERWAVE	P45-16-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	54.0	17.4	6.5	45.0
31	POWERWAVE	P65-17-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	96.0	12.0	6.0	59.0
32	KATHREIN	840-10515	DUAL	698-894 1710-2170	DUAL	COMPATIBLE	24.0	16.0	13.9	50.0
33	KATHREIN	840-10516	DUAL	698-894 1710-2170	DUAL	COMPATIBLE	24.0	16.0	13.9	45.0
34	KATHREIN	840-10510	DUAL	698-894 1710-2170	DUAL	COMPATIBLE	24.0	16.0	13.9	45.0
35	KATHREIN	840-10511	DUAL	698-894 1710-2170	DUAL	COMPATIBLE	24.0	16.0	13.9	45.0
36	KW	FX-X-CD-85-12-85-14-DOT-ST	DUAL	698-894 1710-2170	DUAL	COMPATIBLE	24.0	11.8	5.0	15.4
37	POWERWAVE	P65-16-XLH-RR	DUAL	698-894 1710-2170	DUAL	INSTALLED	72.0	12.0	5.0	57.0

LTE/LIMITS/GSM DUAL BAND
DUAL POLARIZATION ANTENNA (TP)



BECHTEL COMMUNICATIONS
9200 BERGER ROAD
COLUMBIA, MD 21046



SITE NAME: TOWN OF
BERRYVILLE - WC927
SITE ID NUMBER: 3005
201 TOM WHITFACE CIRCLE
BERRYVILLE, VA 22811



7150 STANDARD DRIVE
HANOVER, MD 21076



AT&T PROJECT
LTE PROJECT



LTE/LIMITS/GSM DUAL BAND
POLARIZATION ANTENNA (TP)
SERIAL NUMBER: 25738-435
DATE: 14-VA-3405-0510

ELECTRICAL GENERAL NOTES

- A. GENERAL
 1. EXAMINE THE SITE CONDITIONS VERY CAREFULLY AND THE SCOPE OF PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE BID ALL COSTS FOR WORK SUCH AS EQUIPMENT AND WIRING MADE NECESSARY TO ACCOMMODATE THE ELECTRICAL SYSTEMS SHOWN AND SYSTEMS OF OTHER TRADES.
 2. SUBMITTAL OF BID INDICATES CONTRACTOR IS AWARE OF ALL JOB SITE CONDITIONS AND WORK TO BE PREPARED UNDER THIS CONTRACT.
 3. PERFORM DETAILED VERIFICATION OF WORK PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND COMMENCING CONSTRUCTION. ISSUUE A WRITTEN NOTICE TO THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
 4. THE CONTRACTOR IS TO SCHEDULE ALL INSPECTIONS AND OBTAIN ALL NECESSARY PERMITS TO PERFORM THE WORK.
 5. REVIEW ALL LABOR MATERIAL EQUIPMENT INVENTORY AND SERVICES TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND PRESENT IT AS FULLY OPERATIONAL TO THE SATISFACTION OF THE OWNER.
 6. CARRY OUT ALL WORK IN ACCORDANCE WITH ALL GOVERNING LOCAL COUNTY, STATE, AND NATIONAL CODES AND O.S.H.A.
 7. THE CONSTRUCTION MANAGER WILL COORDINATE POWER AND TIELO WORK WITH THE WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED.
 8. FABRICATION AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE PERSONNEL LICENSED AND EXPERIENCED IN SUCH WORK AND SHALL SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS TO NOT IMPEDRE THE PROGRESS OF THE PROJECT.
 9. DURING PROGRESS OF THE WORK, MAINTAIN AN ACCURATE RECORD OF THE INSTALLATION OF THE ELECTRIC SYSTEMS, LOCATING EACH CIRCUIT PRECISELY AND DIMENSIONING EQUIPMENT CONDUIT AND CABLE LOCATIONS. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE CONSTRUCTION MANAGER AND SUBMIT THESE DRAWINGS AS RECORD DRAWINGS TO THE CONSTRUCTION MANAGER.
 10. THE CONVEYOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF COMPLETION OF THE WORK. IF ANY DEFECTS OR DAMAGE IS FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
 11. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR REQUESTING CONNECTION OF COMMERCIAL POWER FROM THE POWER COMPANY.
 12. THE CONTRACTOR SHALL NOTIFY WEST UTILITY A MINIMUM OF TWO (2) WORKING DAYS BEFORE THE WORK BEGINS. THE CONTRACTOR SHALL ALSO NOTIFY A PRIVATE UTILITY CONTRACTOR FOR ALL ON-SITE UTILITY LOCATIONS.
- B. BASIC MATERIALS AND METHODS
 1. ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.
 2. ALL MATERIALS AND EQUIPMENT SHALL BE NEW. MATERIALS AND EQUIPMENT SHALL BE THE STANDARD PRODUCTS OF MANUFACTURERS CURRENT DESIGN. ANY PARTS-CLASS PRODUCT MADE BY A REPUTABLE MANUFACTURER MAY BE USED PROVIDED IT CONFORMS TO THE CONTRACT REQUIREMENTS AND MEET THE APPROVAL OF THE CONSULTANT AND OWNER.
 3. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN PROVIDING ALL APPROPRIATE CLEARANCE AND ACCESS. CAREFULLY EXAMINE ALL DRAWINGS AND SPECIFICATIONS FOR CONFLICTS AND DISCREPANCIES. NOTIFY THE ALTERNATION WHERE DISCREPANCIES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE.
 4. THE CONTRACT DRAWINGS ARE GENERALLY DIAGNAMATIC AND ALL OFFSETS, BRACE FITTINGS, AND ACCESSORIES ARE NOT SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.
 5. MAINTAIN ALL CLEARANCES AS REQUIRED BY THE NATIONAL ELECTRICAL CODE (NEC).
- C. CONDUCTORS AND CONNECTORS
 1. UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 PROVIDING THE MECHANICAL PROTECTION OF HEAVY DUTY OR UNLESS-REQUIRED INSULATION SHALL BE RATED FOR 90°C. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH THE NEC.
 2. ALL CONDUCTORS USED FOR CIRCUIT GROUNDINGS SHALL BE COPPER AND SHALL HAVE GREEN INSULATION.

3. FOR COPPER CONDUCTORS #6 AWG AND SMALLER, USE 3M SCOTCH LOK OR T&S STA-NON COMPRESSION TYPE CONNECTORS WITH INTEGRAL OR SEPARATE INSULATION UNLESS THE CONTRACTOR HAS A WRITTEN APPROVAL FROM THE UTILITY REPRESENTATIVE. USE COPPER OR BOLT CONNECTORS #10 AWG AND USE SOLDERLESS IDENTIFICATION SYSTEMS FOR ALL WIRING. USE COPPER OR BOLT CONNECTORS FOR ALL COMPRESSION C-CLAMP CONNECTORS, UNLESS NOTED OTHERWISE ON DRAWINGS.
4. UNLESS NOTED OTHERWISE, ALL LUGS SHALL BE TIN PLATED COPPER, TWO-HOLE LONG BARREL COMPRESSION TYPE.
5. CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES. SPLICES ARE NOT ACCEPTABLE. IF SPLICES ARE UNAVOIDABLE, PRIOR APPROVAL FROM AIT&T'S REPRESENTATIVE MUST BE OBTAINED.
- D. RACEWAYS AND BOXES
 1. ALL CONDUIT SHALL BE UL LABELED.
 2. ALL EMPTY CONDUITS INSTALLED FOR FUTURE USE SHALL HAVE A PULL COORD.
 3. SHEET METAL BOXES SHALL BE NEVA 3R AND CONFORM TO NEVA 051. GUTS-METAL BOXES SHALL BE NEVA 3R AND CONFORM TO NEVA 01 AND SHALL BE SIZED IN ACCORDANCE WITH NEC UNLESS OTHERWISE NOTED.
- E. GROUNDING
 1. ALL SAFETY GROUNDING OF THE ELECTRICAL EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT EDITION OF THE NEC.
 2. ALL CELLULAR SITE GROUNDING SHALL BE CARRIED OUT IN ACCORDANCE WITH AIT&T WIRELESS GROUNDING STANDARD DATED OCTOBER 2001.
 3. GROUND LUGS ARE SPECIFIED UNDER SECTION "C. CONDUCTORS AND CONNECTORS"
 4. ALL GROUND LUG AND COMPRESSION CONNECTORS SHALL BE COATED WITH AN ANTI-OXIDANT AGENT SUCH AS NO-OX, NOALOX, PENETROL, OR KOPFSHIELD.
 5. PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
 6. DO NOT INSTALL GROUND RING (IF REQUIRED) OUTSIDE OF PROPERTY LINE.
 7. REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS. REPAINT TO MATCH AFTER CONNECTIONS ARE MADE TO MAINTAIN CORROSION RESISTANCE.
 8. ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING EXTERIOR GROUND RINGS (IF REQUIRED) SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID ANY SHARP BENDS. RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE ANGLE OF ANY BEND SHALL NOT BE GREATER THAN 45°. ALL EXTERIOR GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
 9. ALL EXTERNAL CONNECTIONS SHALL BE APPROVED FOR THE METALS BEING CONNECTED.
 10. ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMIC WELDED. ALL EXOTHERMIC WELDS TO THE EXTERIOR GROUND RING SHALL BE TEE TYPE LOCATED ON TOP OF GROUND RING. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING USING SPRAY CONTAINING 5% ZINC (Z.E.C. GALVANITE OR EQUIVALENT).
 11. IF A NEW GROUND RING IS REQUIRED, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IN WRITING BEFORE IT IS BURNWELDED WITH BOLT.
 12. FOR METAL FENCE POST GROUNDINGS, USE AN EXOTHERMIC WELD CONNECTION TO POST.
 13. WHERE MECHANICAL CONNECTORS (TWO-HOLE OR CLAMP) ARE USED, APPLY A USERAL PROTECTIVE COATING OF AN ANTI-OXIDANT COMPOUND SUCH AS "NO OXIDE A" BY DEARBORN CHEMICAL COMPANY ON ALL CONNECTORS.
 14. BOND ALL EXTERIOR CONDUITS, PIPES AND CYLINDRICAL METALLIC OBJECTS WITH A PENN-UNION GT SERIES CLAMP, BLACKBURN DUV SERIES CLAMP OR A BUNDY CAR 5000BU SERIES CLAMP ONLY. NO SUBSTITUTES ACCEPTED.
 15. PERFORM A GROUND RESISTANCE MEASUREMENT OF THE GROUNDING SYSTEM USING THE "FALL OF POTENTIAL METHOD." THE RESISTANCE BETWEEN ANY POINT ON THE GROUND SYSTEM AND THE REFERENCE GROUND SHALL BE 5 OHMS OR LESS. ENSURE THAT THE ELECTRICAL UTILITY AND TIELO GROUNDING ARE REMOVED FROM THE CELLULAR SYSTEM GROUNDINGS.

17. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY REPRESENTATIVE AT THE SITE TO DISCONNECT THE UTILITY NEUTRAL FROM GROUNDING SYSTEM DURING FINAL INSPECTION. THE CONTRACTOR SHALL HAVE THE UTILITY REPRESENTATIVE PRESENT DURING FINAL INSPECTION. THE CONTRACTOR SHALL PAY THE COST FOR AN INDEPENDENT GROUNDING CONSULTANT TO PERFORM THE GROUND RESISTANCE TEST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSULTANT'S WORK. IF THE UTILITY REPRESENTATIVE FAILS TO APPEAR AT NO FAULT OF THE CONTRACTOR, NO PENALTY SHALL APPLY.
18. A THIRD PARTY SHOULD BE HIRED TO OBTAIN MESSERS AND SWEEP TEST RESULTS TO VERIFY THE GROUNDING SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL SITES. SCHEDULE FINAL MEGGER TEST SUCH THAT THE CONSTRUCTION MANAGER CAN BE PRESENT FOR FIELD VERIFICATION. REFER TO THE AIT&T WIRELESS SPECIFICATION FOR MEGGER TESTING PROCEDURES.
19. ALL METAL WORK WITHIN 10 FEET OF GROUND RING SHALL BE BONDED DIRECTLY TO THE GROUND SYSTEM, WITHOUT USING SERIES OR DAISY CHAIN CONNECTION ARRANGEMENTS.
20. PAINT, ENAMEL, LACQUER AND OTHER ELECTRICALLY NON-CONDUCTIVE COATINGS SHALL BE REMOVED FROM THERMOS AND SURFACE AREAS WHERE CONNECTIONS ARE MADE TO ENSURE GOOD ELECTRICAL CONTINUITY.
21. CONNECTIONS BETWEEN DISSIMILAR METALS SHALL NOT BE MADE UNLESS THE CONDUCTORS ARE SEPARATED BY A SUITABLE MATERIAL THAT IS PART OF THE GROUNDING SYSTEM. ALL MECHANICAL CONNECTIONS BETWEEN DISSIMILAR METALS MAY BE USED.



BECHTEL COMMUNICATIONS
9200 BERGER ROAD
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Dewberry
Dewberry Engineering & Architecture
10000 DEWBERRY DRIVE
FREDERICK, MD 21704

JOB # 506585ST

SITE NAME: TOWN OF BERRYVILLE - WC927
SITE ID NUMBER: 3405
201 TOM WHITACRE CIRCLE
BERRYVILLE, VA 22811



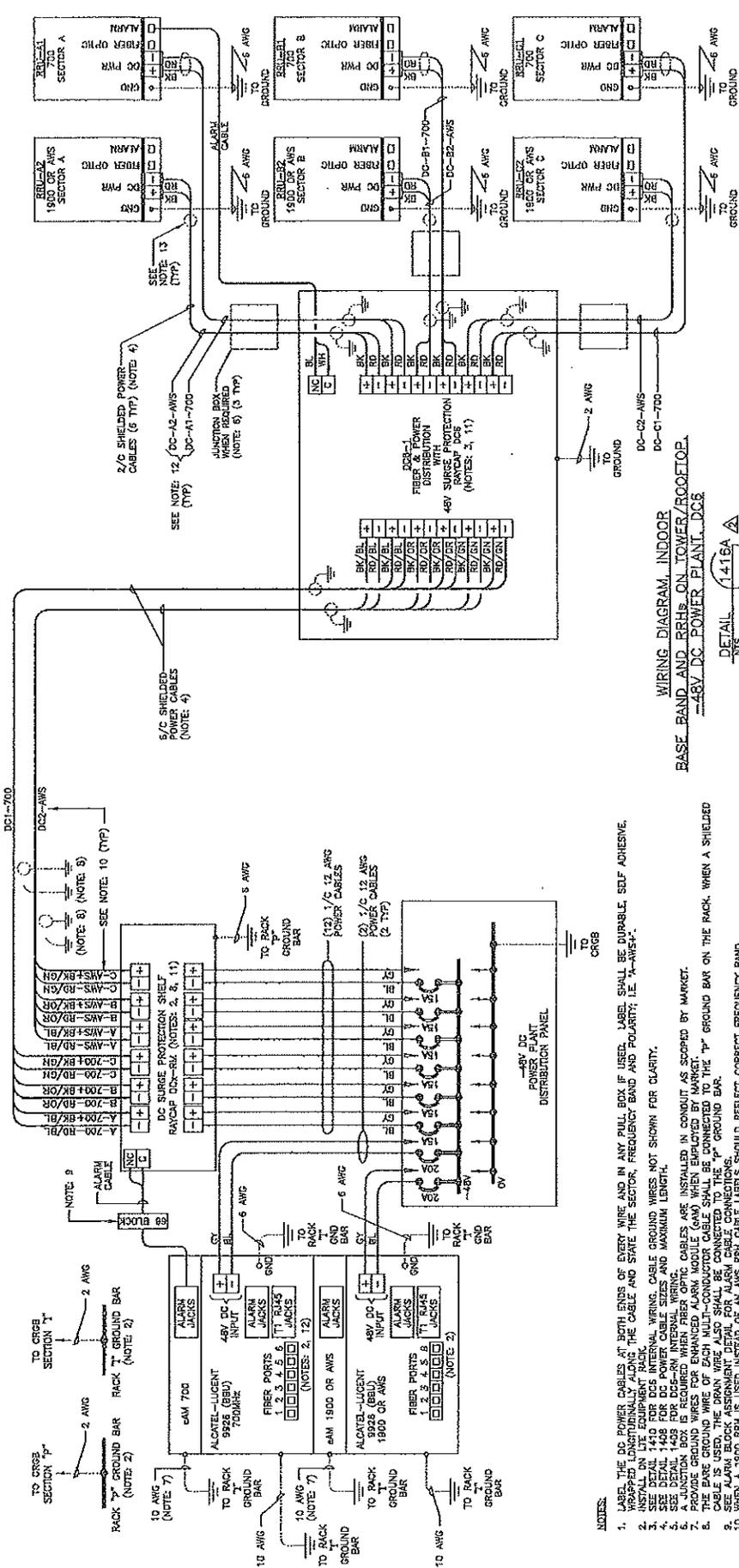
7190 STAMFORD DRIVE
MANASSAS, MD 21078



AT&T LTE PROJECT

at&t	
ELECTRICAL GENERAL NOTES	
JOB NUMBER	3405
DATE	25725-035
SCALE	1:1

DATE	11/24/12	ISSUED FOR CONSTRUCTION	BY	DATE	11/24/12	ISSUED FOR CONSTRUCTION	BY
SCALE	AS SHOWN	REVISIONS	BY	DATE	AS SHOWN	REVISIONS	BY



WIRING DIAGRAM, INDOOR
 BASE BAND AND FIBER ON TOWER/ROOFTOP
 -48V DC POWER PLANT, DC8

- NOTES:
1. LABEL THE DC POWER CABLES AT BOTH ENDS OF EVERY WIRE AND IN ANY PULL BOX IF USED. LABEL SHALL BE DURABLE, SELF ADHESIVE, WRAPPED LONGITUDINALLY ALONG THE CABLE AND STATE THE SECTOR, FREQUENCY BAND AND POLARITY, I.E. "A-AWSH".
 2. INSTALL ON LITE EQUIPMENT RACK.
 3. SEE DETAIL 1418 FOR DC POWER CABLE SIZES AND MAXIMUM LENGTH.
 4. SEE DETAIL 1439 FOR DC5-AM INTERNAL WIRING.
 5. A JUNCTION BOX IS REQUIRED WHEN FIBER OPTIC CABLES ARE INSTALLED IN CONDUIT AS SCORED BY MARKET.
 6. PROVIDE GROUND WIRES FOR ENHANCED ALARM MODULE (EAM) WHEN EMPLOYED BY MARKET. THE "P" GROUND BAR ON THE RACK, WHEN A SHIELDED CABLE IS USED, THE DRAIN WIRE ALSO SHALL BE CONNECTED TO THE "P" GROUND BAR.
 7. SEE ALARM BLOCK ASSIGNMENT DETAIL FOR ALARM CABLE CONNECTIONS.
 8. WHEN A 1900 RHH IS USED INSTEAD OF AN AHS RHH, CABLE LABELS SHOULD REFLECT CORRECT FREQUENCY BAND.
 9. EXISTING 700 MHz BAND SHOULD BE POWERED FROM 10A BROWER.
 10. EXISTING 700 MHz BAND SHOULD BE POWERED FROM 10A BROWER.
 11. EXISTING 700 MHz BAND SHOULD BE POWERED FROM 10A BROWER.
 12. EXISTING 700 MHz BAND SHOULD BE POWERED FROM 10A BROWER.
 13. CABLE GROUND WIRE AND SHIELD DRAIN WIRE TO BE LEFT UN-TERMINATED AT RHH.

BECHTEL COMMUNICATIONS
 9200 BERGER ROAD
 COLUMBIA, MD 21046

Dewberry
 Dewberry engineers, Inc.
 10000 WOODBURN ROAD
 FORT WASHINGTON, PA 19074

AT&T
 LITE PROJECT

DATE: 08/20/12
 SCALE: AS SHOWN
 DESIGNED BY: UK
 DRAWN BY: UN

REV. NO. DATE
 1 08/17/12 PS - SEE ASS 2P USE ONLY
 2 11/28/12 BRIDGE FOR CONSTRUCTION

REV. NO. DATE
 1 08/20/12
 2 08/20/12

7150 STANDARD DRIVE
 HANOVER, MD 21076

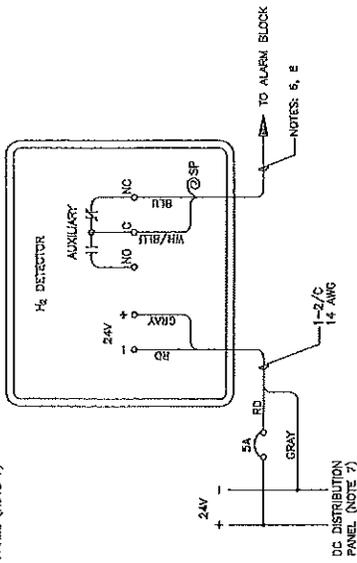
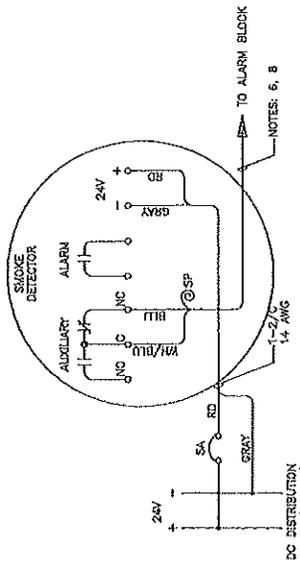
SITE NAME: TOWN OF
 BERRYVILLE - VC827
 SITE ID NUMBER: 3405

231 TOM WHTAGORE CIRCLE
 BERRYVILLE, VA 22811

JOB # 50055801

WIRING DIAGRAM

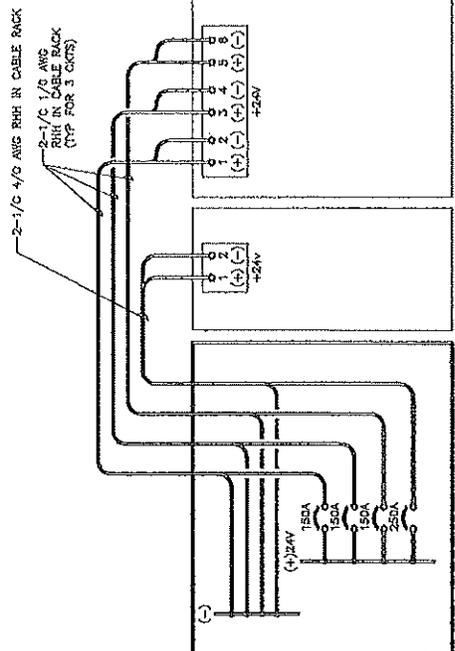
2572E-43S L4-VAN-3403- ES 1



- NOTES:
1. PROVIDE SMOKE DETECTOR AND/OR HYDROGEN DETECTOR AS REQUIRED BY SCOPE DOCUMENT.
 2. THIS DETAIL IS NOT SPECIFIC TO ANY ONE MANUFACTURER OR MODEL DETECTOR. REFER TO MANUFACTURER'S INSTRUCTION MANUAL FOR PROPER INSTALLATION.
 3. LOCATE SMOKE DETECTOR ON WALL OVER CENTER OF BATTERY CASES.
 4. LOCATE HYDROGEN DETECTOR ON WALL OVER CENTER OF BATTERY CASES. PROVIDE 4" x 4" ELECTRICAL BOX IF DETECTOR IS FABRICATED FOR SUCH MOUNTING.
 5. DC POWER CABLES SHALL BE MULTI-CONDUCTOR COPPER CLASS 5 & STRANDING WITH FLAME RETARDANT PVC JACKET, UL LISTED TYPE CT OR SINGLE-CONDUCTOR TELCO FLEXY TYPE III.
 6. ALARM CABLE SHALL BE TWISTED-PAIR 24 AWG SOLID COPPER UNSHIELDED UL TYPE CMR/CMG WITH PVC JACKET.
 7. ROUTE DC POWER CABLE TO A 24V DC DISTRIBUTION PANEL, PROVIDE A BREAKER OR FUSE AS APPROPRIATE.
 8. CONNECT ALARM CABLE TO PROVIDE CONTINUITY WHEN CONDITION IS NORMAL.

WIRING DIAGRAM
SMOKE DETECTOR & HYDROGEN DETECTOR

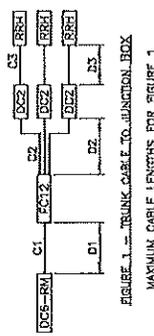
DETAIL 1478



- NOTES:
1. CABLING SHOWN IS TYPICAL FOR EACH CABINET EXISTING AT THE SITE.
 2. PROVIDE (1) 250A BREAKER FOR EACH GSM CABINET AND (3) 150A BREAKERS FOR EACH UNITS CABINET.
 3. CABLE TO BTS SHALL BE TELCORTEX OR A242794" COPPER UL LISTED RRH FIRE RESISTANT NON-HALODGEN, LOW-SMOKE, FLEXIBLE CLASS B (TYPE III) STRANDED.
 4. DC POWER CABLES SHALL BE COLOR CODED AS FOLLOWS:
+24V SYS: POS = RED, RETURN (NEG) = GRAY
 5. MAXIMUM TOTAL FEEDER LENGTH OF UP TO 33 FEET FOR GSM & 35 FEET FOR UNITS. (CABLE LENGTHS ARE BASED ON 1.0 VOLT DROP PER FEET.)
MAXIMUM DISTANCE BETWEEN DC POWER PLANT AND BTS EQUIPMENT EXCEEDING THESE LENGTHS, CONTACT ENGINEERING FOR RESOLUTION.

DC CABLE REPLACEMENT
TO EXISTING INDOOR GSM & UNITS CABINETS

DETAIL 1427



ALCATEL-LUCENT (ALU)

C1 SIZE	C2 SIZE	LENGTH D1 (FT)	LENGTH D2 (FT)	LENGTH D3 (FT)	LENGTH D4 (FT)
8AWG	12AWG	75	100	125	150
8AWG	12AWG	115	140	165	190
8AWG	12AWG	155	180	205	230
8AWG	12AWG	195	220	245	270
8AWG	12AWG	235	260	285	310

ERISSON

C1 SIZE	C2 SIZE	LENGTH D1 (FT)	LENGTH D2 (FT)	LENGTH D3 (FT)	LENGTH D4 (FT)
8AWG	12AWG	75	100	125	150
8AWG	12AWG	115	140	165	190
8AWG	12AWG	155	180	205	230
8AWG	12AWG	195	220	245	270
8AWG	12AWG	235	260	285	310

MAXIMUM CABLE LENGTHS FOR FIGURES 2 AND 3

CABLE	ALL LENGTH D1/D2 (FT)	ERISSON LENGTH D1/D2 (FT)
C1	16	16
C2	16	16
C3	16	16
C4	16	16

- NOTES:
1. CABLE LENGTHS ARE APPLICABLE FOR 700MHz, 1800MHz & AWS FREQUENCIES 240W AND 240W ALU RRH MODELS AND ERISSON MODEL RRH-71.
 2. NOMINAL SYSTEM VOLTAGE IS -48V DC, SUPPLIED FROM A 48V BATTERY. NORMAL OPERATING VOLTAGE IS -52V.
 3. CABLE LENGTHS BASED ON ROSENBERGER AND COMSCOPE CABLES.

LTE CONDUCTOR SIZES

DETAIL 1408

Bertel Communications
2200 BERGER ROAD
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1715 GAITHERS ROAD
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AT&T
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7150 STANDARD DRIVE
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AT&T
LTE PROJECT

SITE NAME: TOWN OF BERRYVILLE - WC927
SITE ID NUMBER: 3405
201 TOMA WHITFACER CIRCLE
BERRYVILLE, VA 22811

SCALE: AS SHOWN REVISIONS: 01/24/12 PLAN CHECK: 01/24/12 BRIDGE FOR CONSTRUCTION: 01/24/12
DATE: 01/24/12
BY: JIM HARRIS
DRAWN BY: JIM HARRIS
CHECKED BY: JIM HARRIS
DATE: 01/24/12

25735-435 1-4-WA-3405-ES 1

SECTOR #1 (ALPHA)

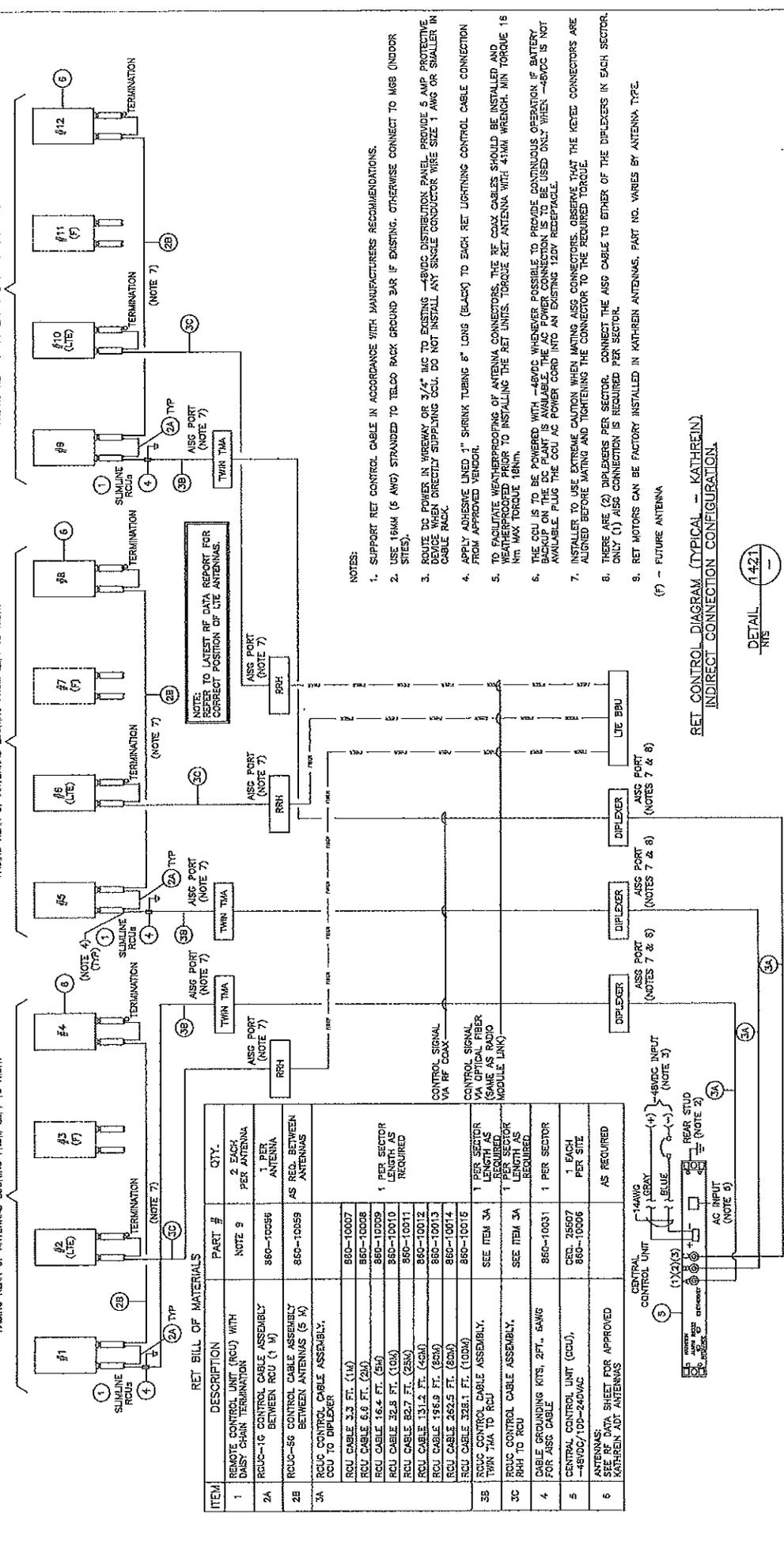
FACING REAR OF ANTENNAS LOOKING FROM LEFT TO RIGHT

SECTOR #2 (BETA)

FACING REAR OF ANTENNAS LOOKING FROM LEFT TO RIGHT

SECTOR #3 (GAMMA)

FACING REAR OF ANTENNAS LOOKING FROM LEFT TO RIGHT



ITEM	DESCRIPTION	PART #	QTY.
1	REMOTE CONTROL UNIT (RCU) WITH DASH-CHAIN TERMINATION	NOTE 9	2 EACH PER ANTENNA
2A	RGU-1G CONTROL CABLE ASSEMBLY BETWEEN RCU (1 M)	860-10058	1 PER ANTENNA
2B	RGU-SG CONTROL CABLE ASSEMBLY BETWEEN ANTENNAS (5 M)	860-10059	AS REQ. BETWEEN ANTENNAS
3A	RGU CONTROL CABLE ASSEMBLY, RCU TO DIPLXER		
	RGU CABLE 3.3 FT. (1M)	860-10007	
	RGU CABLE 6.6 FT. (2M)	860-10008	
	RGU CABLE 13.2 FT. (4M)	860-10009	
	RGU CABLE 26.4 FT. (8M)	860-10010	
	RGU CABLE 39.6 FT. (12M)	860-10011	
	RGU CABLE 52.8 FT. (16M)	860-10012	
	RGU CABLE 66.0 FT. (20M)	860-10013	
	RGU CABLE 79.2 FT. (24M)	860-10014	
	RGU CABLE 92.4 FT. (28M)	860-10015	
	RGU CABLE 105.6 FT. (32M)	860-10016	
3B	RGU CONTROL CABLE ASSEMBLY, RCU TO RCU		
	RGU CABLE 328.1 FT. (100M)	SEE ITEM 3A	1 PER SECTOR LENGTH AS REQUIRED
3C	RGU CONTROL CABLE ASSEMBLY, RCU TO RCU		
	RGU CABLE 328.1 FT. (100M)	SEE ITEM 3A	1 PER SECTOR LENGTH AS REQUIRED
4	CABLE BOUNDING KITS, 2FT. 5AWG FOR ASSC CABLE	860-10031	1 PER SECTOR
5	CENTRAL CONTROL UNIT (CCU), -48VDC/100-240VAC	CCU-25507 860-10006	1 EACH PER SITE
6	ANTENNAS: SEE RF DATA SHEET FOR APPROVED KATHREIN ADT ANTENNAS		AS REQUIRED

- NOTES:
- SUPPORT RET CONTROL CABLE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - USE 16MM (5 AWG) STRANDED TO TELCO BACK GROUND BAR IF EXISTING, OTHERWISE CONNECT TO MGB (INDOOR SITES).
 - ROUTE DC POWER IN WIREWAY OR 3/4" I.D. TO EXISTING -48VDC DISTRIBUTION PANEL. PROVIDE 5 AMP PROTECTIVE DEVICE WHEN DIRECTLY SUPPLYING CCU. DO NOT INSTALL ANY SINGLE CONDUCTOR WIRE SIZE 1 AWG OR SMALLER IN CABLE RACK.
 - APPLY ADDRESS LINED 1" SHRINK TUBING 8" LONG (BLACK) TO EACH RET LIGHTNING CONTROL CABLE CONNECTION FROM APPROVED VENDOR.
 - TO FACILITATE WEATHERPROOFING OF ANTENNA CONNECTORS, THE RF COAX CABLES SHOULD BE INSTALLED AND WEATHERPROOFED PRIOR TO INSTALLING THE RET UNITS. TORQUE RET ANTENNA WITH: 43MM WRENCH, MIN TORQUE 16 Nm MAX TORQUE 18Nm.
 - THE CCU IS TO BE POWERED WITH -48VDC WHENEVER POSSIBLE TO PROVIDE CONTINUOUS OPERATION IF BATTERY BACKUP ON THE DC PLANT IS AVAILABLE. THE AC POWER CONNECTION IS TO BE USED ONLY WHEN -48VDC IS NOT AVAILABLE. PLUG THE COU AC POWER CORD INTO AN EXISTING 120V RECEPTACLE.
 - INSTALLER TO USE EXTREME CAUTION WHEN MATING ASSC CONNECTORS. OBSERVE THAT THE KEYED CONNECTORS ARE ALIGNED BEFORE MATING AND TIGHTENING THE CONNECTOR TO THE REQUIRED TORQUE.
 - THERE ARE (2) DIPLXERS PER SECTOR. CONNECT THE ASSC CABLE TO EITHER OF THE DIPLXERS IN EACH SECTOR. ONLY (1) ASSC CONNECTION IS REQUIRED PER SECTOR.
 - RET MOTORS CAN BE FACTORY INSTALLED IN KATHREIN ANTENNAS, PART NO. VARIES BY ANTENNA TYPE.

(*) - FUTURE ANTENNA

RET CONTROL DIAGRAM (TYPICAL - KATHREIN)
INDIRECT CONNECTION CONFIGURATION

DETAIL 1421

<p>Dewberry Dewberry Engineering Inc. 10000 W. Highway 100 Suite 100 Columbia, MD 21046 Tel: 410-326-7000 Fax: 410-326-7001 www.dewberry.com</p>	<p>SITE NAME: TOWN OF BERRYVILLE - WC927 SITE ID NUMBER: 3405 201 TOM WHITACRE CIRCLE BERRYVILLE, VA 22811</p>	<p>at&t Mobility 71450 STANFORD DRIVE HANOVER, MD 21075</p>	<p>AT&T LTE PROJECT</p>	
				<p>RET CONTROL DIAGRAM</p> <p>JOB NUMBER: 25735-435 DRAWING NUMBER: L4-VA-3405-07 REV: 1</p>

PANEL C. 24V, 600A

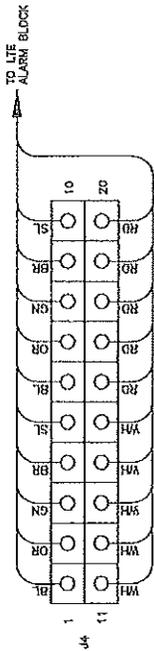
BRKR	DESCRIPTION
1	150 LIMS CABINET 1
2	CIRCUIT 1
3	LEAVE UNUSED
4	150 LIMS CABINET 1
5	CIRCUIT 2
6	LEAVE UNUSED
7	150 LIMS CABINET 1
8	CIRCUIT 3
9	LEAVE UNUSED
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	

PANEL A SELECTED VOLTAGE: 24V, 600A

BRKR (A)	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	

PANEL D 24V, 600A

BRKR	DESCRIPTION
1	240
2	GSM CABINET 1
3	
4	LEAVE UNUSED
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	



BR NRS.	DESCRIPTION
1, 11	PCR POWER CRITICAL
2, 12	PMI POWER MAJOR
3, 13	PMN POWER MINOR
4, 14	BD BATTERY ON DISCHARGE
5, 15	VLV VERY LOW VOLTAGE
6, 16	FAI EXTERNAL FUSE ALARM
7, 17	ACF AC FAILURE
8, 18	RFA REDRIER FAILURE
9, 19	MRF MULT RECIPER FAILURE
10, 20	HV HIGH VOLTAGE

PANEL B SELECTED VOLTAGE: 48V, 600A

BRKR (A)	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	

NOTES:

- ALL BREAKERS 70A AND GREATER REQUIRE ONE (1) UNUSED POSITION ON EACH SIDE.
- PANELS A & B ARE SELECTABLE FOR 24V OR 48V DISTRIBUTION. INSTALLER TO SETUP VOLTAGE SECTION AS SHOWN.
- 2-POSITION AND 3-POSITION BREAKERS REQUIRE AN ADAPTER PLATE ON LOAD TERMINALS AND RETURN BUS.

- ALARM OUTPUT CABLE IS 24 AWG SOLID CU TWISTED PAIR AND IS AVAILABLE FROM GE/ALLENKAGE IN 50 FT LENGTH (CG848817626) AND 150 FT LENGTH (CG848817643).
- INSTALLER TO PLACE ALARM RELAY JUMPERS IN "OPEN ON ALARM" POSITION.

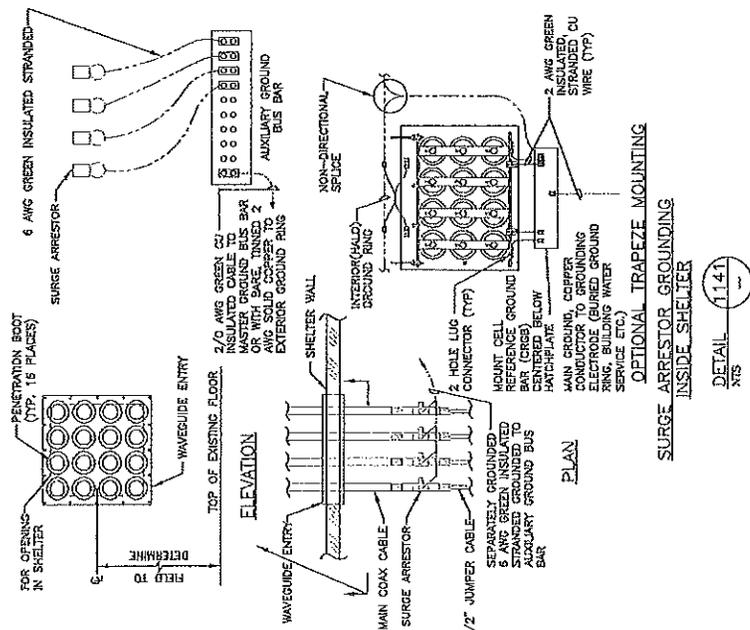
DC PANEL SCHEDULE
 GE INFINITY-M
 ±24V PRIMARY - 48V SECONDARY

CONNECTION DIAGRAM GE INFINITY-M
 DC POWER PLANT ALARM

DETAIL 1474B
 NTS

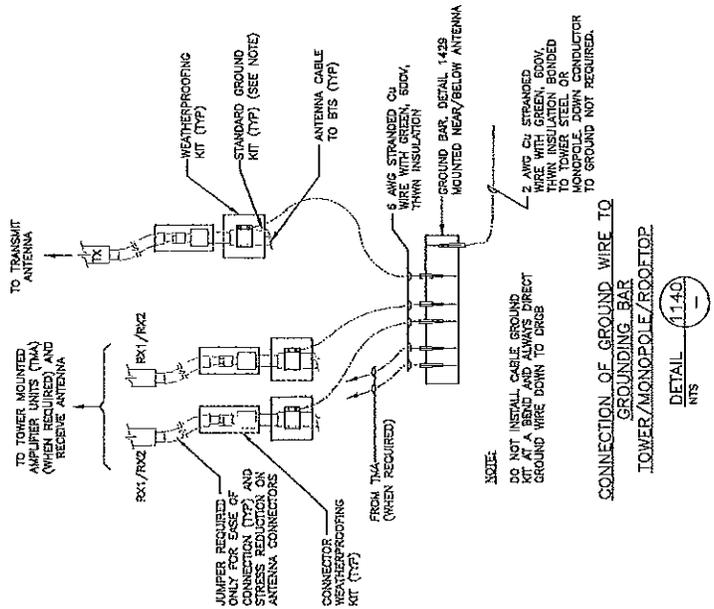
DETAIL 1474A
 NTS

<p>BECHTEL COMMUNICATIONS 5200 BERGER ROAD COLUMBIA, MD 21046</p>	<p>Dewberry Dewberry Engineers Inc. 201 TOM WHITACRE CIRCLE BERRYVILLE, VA 22611</p>	<p>AT&T 7150 STANDARD DRIVE HANOVER, MD 21075</p>	<p>AT&T LTE PROJECT</p>	<p>GE INFINITY-M - CONNECTION DIAGRAM AND DC PANEL SCHEDULE 25735-435 DRAWING NUMBER 14-VA-3405-E10.1</p>
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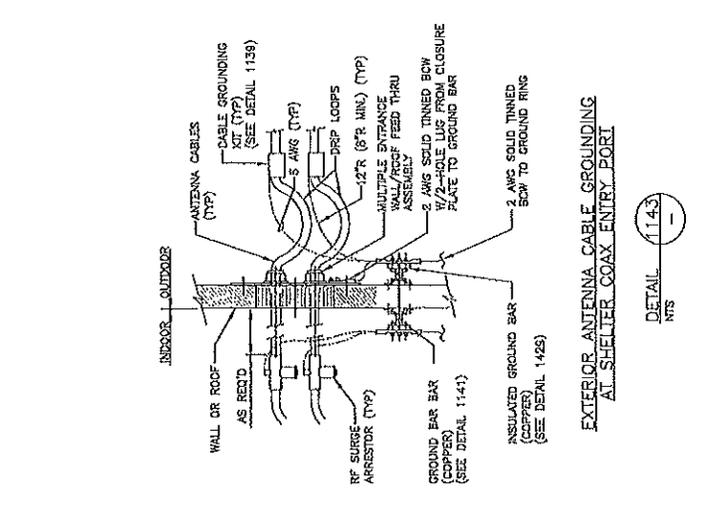
OPTIONAL TRAPEZE MOUNTING SURGE ARRESTOR GROUNDING INSIDE SHELTER

DETAIL 1141
NTS



CONNECTION OF GROUND WIRE TO TOWER/MONOPOLE/ROOFTOP

DETAIL 1140
NTS



EXTERIOR ANTENNA CABLE GROUNDING AT SHELTER COAX ENTRY PORT

DETAIL 1143
NTS

 BECHTEL COMMUNICATIONS 9200 BERGER ROAD COLUMBIA, MD 21046	 Dewberry Dewberry Engineers Inc. 10000 WOODBURN ROAD WOODBURN, VA 22195	SITE NAME: TOWN OF BERRYVILLE - WC927 SITE ID NUMBER: 3405 201 TON WHITACRE CIRCLE BERRYVILLE, VA 22511		 7150 STANDARD DRIVE HANOVER, MD 21076	 AT&T LTE PROJECT	 25736-003 14-VA-3405-1140
		DATE: 11/29/13 BY: GJK/JPY	DRAWN BY: UN			

SECOND AMENDMENT TO WATER TANK SITE LEASE AGREEMENT

THIS SECOND AMENDMENT TO WATER TANK LEASE AGREEMENT ("Second Amendment"), dated as of the latter of the signature dates below, is by and between **Town of Berryville, VA**, a Virginia municipal corporation having a mailing address of 101 Chalmers Court, Berryville, Virginia, 22611 ("Lessor") and **New Cingular Wireless PCS, LLC**, a Delaware limited liability company, successor in interest to Triton PCS Property Company, LLC, having a mailing address of 575 Morosgo Drive, Atlanta, GA 30324 ("Lessee").

WHEREAS, Lessor and Lessee entered into a Water Tank Site Lease Agreement dated June 29, 2001, as amended by that certain First Amendment to Water Tank Site License Agreement dated May, 20 2013 (collectively referred to herein as the "Agreement"), whereby Lessor leased to Lessee certain Lease Premises, therein described, being a portion of Lessor's water tank located on the Property situated off Tom Whitacre Circle adjacent to the Town of Berryville, in Clarke County, Virginia; and

WHEREAS, Lessee currently has located nine (9) antenna panels on the water tank, and currently pays a monthly rent of Two Thousand Eight Hundred Twelve Dollars and 51/100 (\$ 2,812.51); and

WHEREAS, Lessor and Lessee desire to amend the Agreement to allow for the installation of additional antennas, associated cables, and other communications instruments, and to adjust the rent in conjunction with the modifications to the Agreement contained herein; and

WHEREAS, Lessor and Lessee, in their mutual interest, wish to amend the Agreement as set forth below accordingly.

NOW THEREFORE, in consideration of the forgoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Lessor and Lessee agree as follows:

1. **Additional Antennas.** Lessor consents to the installation and operation of three (3) additional antennas, associated cables and equipment as more completely described on attached Exhibit B-2. Exhibit B-2 hereby replaces Exhibit B-1 to the Agreement.

Lessor agrees to the following as a final configuration:

- (12) panel antennas
- (6) TMA
- (6) Diplexers
- (12) 1-5/8" coax cables
- (12) RRH
- (2) DC6
- (6) Junction Boxes
- (2) Fiber Cables
- (4) DC Power Cables

2. **Rent.** Commencing on the first day of the month following the date that the Lessee commences construction, Rent shall be increased by Two Hundred Dollars (\$200.00) per month, subject to adjustments as provided in the Agreement. Upon Lessee's removal of all antennae added

pursuant to this Second Amendment and thirty (30) days prior written notice to Lessor, rent shall reduce by Two Hundred Dollars (\$200.00) per month.

3. **Extension of Lights.** Prior to installation of any new antennas or associated equipment, Lessee shall relocate the two lights located on the top of the water tank to the corral at the height of the top of the highest antenna to be located on the water tank as described in Exhibit B-2.
4. **Painting.** Lessee shall paint the surfaces on all antennas, associated cables, and equipment previously or hereafter installed on the water tank, except those surfaces identified on attached Exhibit C. The surfaces shall be painted the same color as the water tank. The painting of all antennas, cables, and equipment shall be completed within 45 days of installation of the new equipment. Lessee shall maintain in proper condition the paint on all painted surfaces of antennas, cables, and equipment.
5. **Memorandum of Lease.** Either party will, at any time upon fifteen (15) days prior written notice from the other, execute, acknowledge, and deliver to the other a recordable Memorandum of Lease substantially in the form of the Attachment 1. Either party may record this memorandum at any time, in its absolute discretion.
6. **Other Terms and Conditions Remain** In the event of any inconsistencies between the Agreement and this Second Amendment, the terms of this Second Amendment shall control. Except as expressly set forth in this Second Amendment, the Agreement otherwise is unmodified and remains in full force and effect. Each reference in the Agreement to itself shall be deemed also to refer to this Second Amendment.
7. **Capitalized Terms.** All capitalized terms used but not defined herein shall have the same meanings as defined in the Agreement.

IN WITNESS WHEREOF, the parties have caused their properly authorized representatives to execute and seal this Second Amendment on the dates set forth below.

"LESSOR"

Town of Berryville

By: 

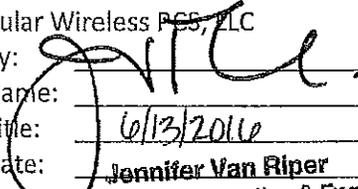
Name: KATHY DACTON

Title: Town Manager

Date: 6/14/16

"LESSEE"

New Cingular Wireless PCS, LLC

By: 

Name: Jennifer Van Riper

Title: 6/13/2016

Date: Jennifer Van Riper

Area Manager, Construction & Engineering
AT&T Mobility

[ACKNOWLEDGEMENTS APPEAR ON NEXT PAGE]

LESSOR ACKNOWLEDGEMENT

Municipal Corporation

COMMONWEALTH OF VIRGINIA
COUNTY OF CLARKE

The forgoing instrument was acknowledged before me on June 14, 2016 (date) by Keith Dalton, Town Manager of the Town of Berryville, Virginia, municipal corporation, on behalf of the Town.

Ann W Phillips
Notary Public

Printed Name: Ann W. Phillips

My Commission Expires: July 31, 2019



Ann W. Phillips
NOTARY PUBLIC
Commonwealth of Virginia
Reg. #7623873
My Commission Expires
7-31-19

LESSEE ACKNOWLEDGEMENT

Limited Liability Company

STATE OF Maryland
COUNTY OF Charles

The forgoing instrument was acknowledged before me on June 13th 2016 (date) by Jennifer Van Kester (name and title of officer or agent) of New Cingular Wireless PCS, LLC, a Delaware limited liability company, on behalf of the limited liability company.

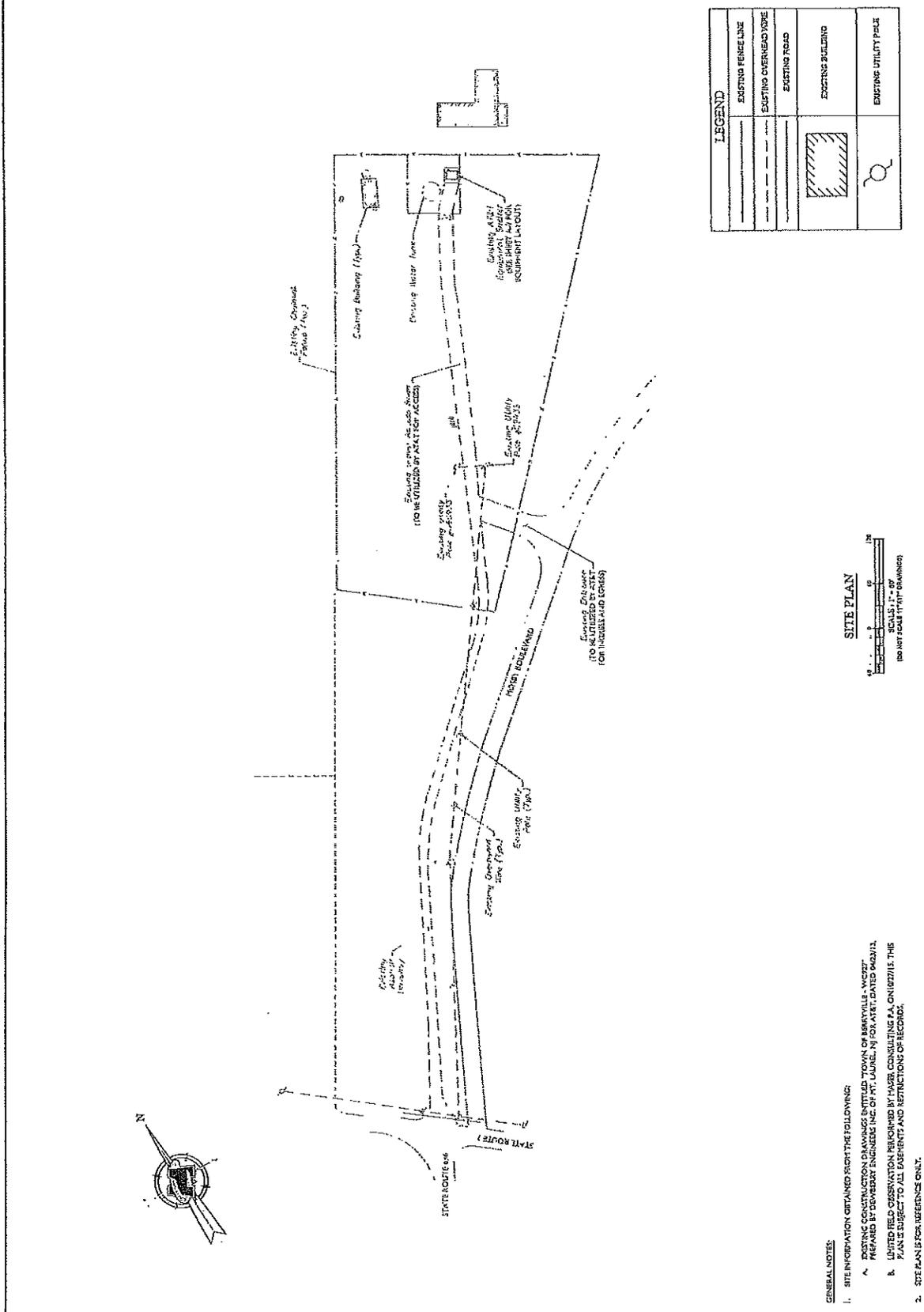
Barbara Francis
Notary Public

Printed Name: _____
My Commission Expires: _____
BARBARA FRANCIS
Notary Public-Maryland
Charles County
My Commission Expires
September 27, 2017

EXHIBIT B-2

See attached construction drawings, consisting of 16 pages, prepared by Maser Consulting P.A.

<p>MASHER CONSULTANTS, INC. 1000 W. BERRYVILLE ROAD BERRYVILLE, PA 16804 TEL: (717) 338-1100 FAX: (717) 338-1101 WWW.MASHERCONSULTANTS.COM</p>	<p>smartlink 100 MILL LICK ROAD SUITE 100 HARRISBURG, PA 17104 TEL: (717) 338-1100 FAX: (717) 338-1101</p>	<p>at&t NEW CIRCULAR WIRELESS P.C. LLC 750 STANFORD DRIVE HARRISBURG, PA 17104</p>	<p>80 COMMUNICATIONS 1000 W. BERRYVILLE ROAD BERRYVILLE, PA 16804 TEL: (717) 338-1100 FAX: (717) 338-1101</p>	<p>NORTH STAR COMMUNICATIONS, INC. 1000 W. BERRYVILLE ROAD BERRYVILLE, PA 16804 TEL: (717) 338-1100 FAX: (717) 338-1101</p>	<p>STATE NAME: TOWN OF BERRYVILLE EAP 10066492 301 TON WHITTAKER CIRCLE BERRYVILLE, PA 16811 CLAY COUNTY</p>	<p>PA STATE SEAL COMMONWEALTH OF PENNSYLVANIA 1787</p>	<p>SITE PLAN A-1</p>
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LEGEND	
	EXISTING FENCE LINE
	EXISTING OVERHEAD POLE
	EXISTING ROAD
	EXISTING BUILDING
	EXISTING UTILITY POLE



- GENERAL NOTES:**
- SITE INFORMATION OBTAINED FROM THE FOLLOWING:
 - EXISTING CONSTRUCTION DRAWINGS ENTITLED TOWN OF BERRYVILLE - W0227
 - PREPARED BY CRAWFORD ENGINEERING INC. OF PT. LAUREL, NJ FOR A DATED 06/21/11
 - LIMITED FIELD OBSERVATION PERFORMED BY THAYER CONSULTING PA, ON 07/18/11. THIS PLAN IS SUBJECT TO ALL EXISTENT AND RESTRICTIONS OF RECORD.
 - SITE PLAN IS FOR REFERENCE ONLY.

MASER
INCORPORATED
10000 WOODBURN AVENUE
SUITE 100
HANOVER, MD 21076
TEL: (410) 322-8500 FAX: (410) 721-2702

smartlink
INCORPORATED
10000 WOODBURN AVENUE
SUITE 100
HANOVER, MD 21076
TEL: (410) 322-8500 FAX: (410) 721-2702

at&t
NEW COGNAC WIRELESS P.C. LLC
7100 STANDARD DRIVE
HANOVER, MD 21076

8U
COMMUNICATIONS
10000 WOODBURN AVENUE
SUITE 100
HANOVER, MD 21076
TEL: (410) 322-8500 FAX: (410) 721-2702

DATE: 01/24/07
DRAWN: JPH/477A
CHECKED: JPH/477A

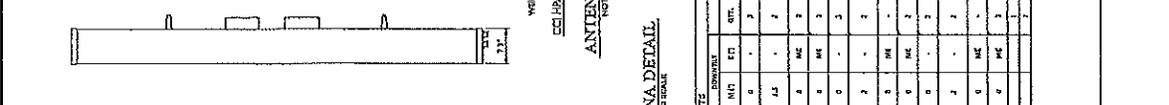
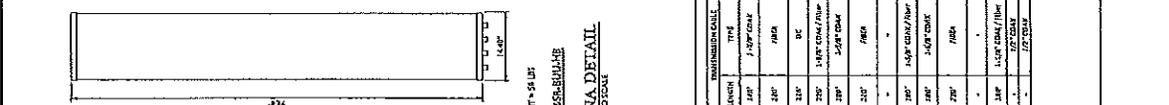
NORTH

TOWN OF BERRYVILLE
EALJ 10068492
301 TOM WHITACRE CIRCLE
BERRYVILLE, VA 22811
CLARKE COUNTY

SCALE: 1" = 10'-0"
DATE: 01/24/07
DRAWN: JPH/477A

ELEVATION VIEW, DETAILS,
AND ANTENNA SCHEDULE

A-3



NOTE: UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PAINT ALL NEW EQUIPMENT AND ANTENNA CABLES TO MATCH WATER TANK.

PROPOSED 2" X 2" UNGS 2" PROPOSED 1/2" DIA. (10' DIA.)

PROPOSED ANTENNA MOUNTING BRACKET (10' DIA.)

PROPOSED ANTENNA MOUNTING BRACKET (10' DIA.)

PROPOSED ANTENNA MOUNTING BRACKET (10' DIA.)

PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS

ITEM	ANTENNA MODEL	TOTAL	ANTENNA TYPE	WEIGHT (LBS)	WIND LOAD (PSF)	ANTENNA HEIGHT (FT)	ANTENNA AREA (SQ FT)	ANTENNA TYPE	TRANSMISSION CABLE
1	PROPOSED	1	ANTENNA	54	20	14'	14'	14'	1/2" DIA. / 10' DIA.
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NOTE: ALL ANTENNAS SHALL BE MOUNTED TO THE WATER TANK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL ANALYSIS OF THE WATER TANK AND WATER TANK FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL ANALYSIS OF THE EXISTING WATER TANK AND ANY REQUIRED APPROPRIATE REINFORCEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL ANALYSIS OF THE EXISTING WATER TANK AND ANY REQUIRED APPROPRIATE REINFORCEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL ANALYSIS OF THE EXISTING WATER TANK AND ANY REQUIRED APPROPRIATE REINFORCEMENTS.



PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS

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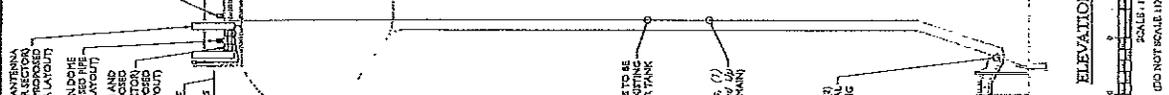
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PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS

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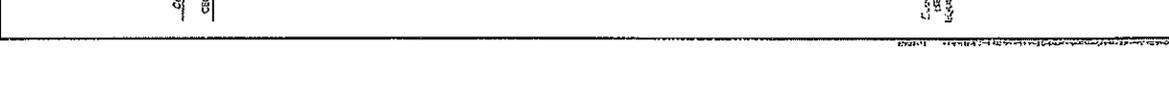
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PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS

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10	PROPOSED	1	ANTENNA	11	20	14'	14'	14'	1/2" DIA. / 10' DIA.
11	PROPOSED	1	ANTENNA	11	20	14'	14'	14'	1/2" DIA. / 10' DIA.
12	PROPOSED	1	ANTENNA	11	20	14'	14'	14'	1/2" DIA. / 10' DIA.
13	PROPOSED	1	ANTENNA	11	20	14'	14'	14'	1/2" DIA. / 10' DIA.
14	PROPOSED	1	ANTENNA	11	20	14'	14'	14'	1/2" DIA. / 10' DIA.
15	PROPOSED	1	ANTENNA	11	20	14'	14'	14'	1/2" DIA. / 10' DIA.
16	PROPOSED	1	ANTENNA	11	20	14'	14'	14'	1/2" DIA. / 10' DIA.
17	PROPOSED	1	ANTENNA	11	20	14'	14'	14'	1/2" DIA. / 10' DIA.

NOTE: ALL ANTENNAS SHALL BE MOUNTED TO THE WATER TANK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL ANALYSIS OF THE WATER TANK AND WATER TANK FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL ANALYSIS OF THE EXISTING WATER TANK AND ANY REQUIRED APPROPRIATE REINFORCEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL ANALYSIS OF THE EXISTING WATER TANK AND ANY REQUIRED APPROPRIATE REINFORCEMENTS.



MASER
COMMUNICATIONS

smartlink
THE FIBER CONNECTION

at&t

NEW CIRCULAR WIRELESS PCS, LLC
715 STANDARD DRIVE
HANOVER, MD 21076

80

NINER
COMMUNICATIONS

SITE NAME
TOWN OF BERRYVILLE
TAM 10066492
201 TOM WHITTAGE CIRCLE
BERRYVILLE, VA 22611
CLARKE COUNTY

DETAILS-3
A-5

FIBER TRUNK CHANNEL	TECHNOLOGY	FREQUENCY BAND	SECQA	RAY POSITION	FIBER TYPE
11			ALPHA	POS 1	TRASH
12	LTE	700MHz	BETA	POS 2	TRASH
13			DAPPA	POS 10	TRASH
14			ALPHA	POS 1	AVS2/A
15	LTE	LTE/AMR	BETA	POS 4	AVS2/A
16			DAPPA	POS 8	AVS2/C
17					
18					
19					
20			ALPHA	POS 3	TRASH
21			BETA	POS 7	TRASH
22	LTE	LTE/HR	DAPPA	POS 11	TRASH
23			ALPHA	POS 4	WSPA
24	LTE	LTE/HR	BETA	POS 6	WSPA
25			DAPPA	POS 12	WSPA

FIBER TRUNK ASSIGNMENTS

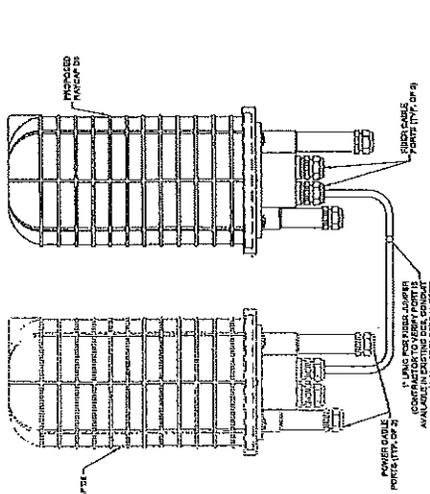


CI SIZE	CI CODE	ALPHA-LOCENT (MM)	BETA-LOCENT (MM)	LENGTH (FT)
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6AWG	CI 03E	100	100	100
6AWG	CI 04E	100	100	100
6AWG	CI 05E	100	100	100
6AWG	CI 06E	100	100	100
6AWG	CI 07E	100	100	100
6AWG	CI 08E	100	100	100
6AWG	CI 09E	100	100	100
6AWG	CI 10E	100	100	100
6AWG	CI 11E	100	100	100
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6AWG	CI 13E	100	100	100
6AWG	CI 14E	100	100	100
6AWG	CI 15E	100	100	100

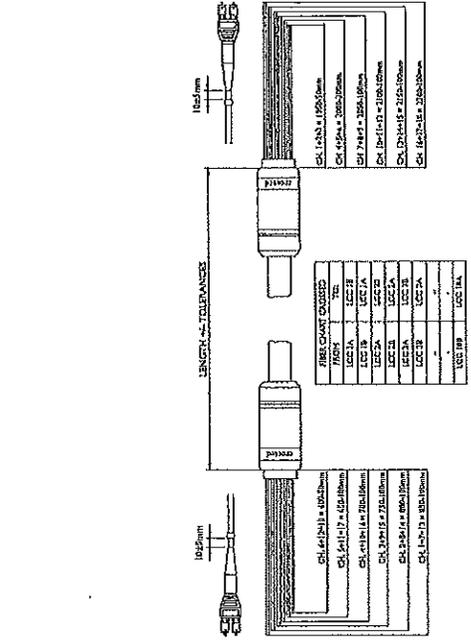
CI SIZE	CI CODE	ALPHA-LOCENT (MM)	BETA-LOCENT (MM)	LENGTH (FT)
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6AWG	CI 27E	100	100	100
6AWG	CI 28E	100	100	100
6AWG	CI 29E	100	100	100
6AWG	CI 30E	100	100	100

DC CABLE LENGTH

CI SIZE	CI CODE	ALPHA-LOCENT (MM)	BETA-LOCENT (MM)	LENGTH (FT)
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6AWG	CI 32E	100	100	100
6AWG	CI 33E	100	100	100
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6AWG	CI 38E	100	100	100
6AWG	CI 39E	100	100	100
6AWG	CI 40E	100	100	100
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6AWG	CI 42E	100	100	100
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6AWG	CI 48E	100	100	100
6AWG	CI 49E	100	100	100
6AWG	CI 50E	100	100	100



FIBER CONNECTION DETAIL



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at&t
 NEW CHANNEL WIRELESS, INC. LLC
 7100 STANDARDS DRIVE
 HANOVER, PA 21040

BU
 BERRYVILLE UTILITIES
 1000 W. BERRYVILLE AVENUE
 BERRYVILLE, VA 22811

NO.	DESCRIPTION	DATE
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300	REVISED FOR COMMENTS	05/10/19

MASTER TECHNOLOGY
10000 W. BERRYVILLE RD.
BERRYVILLE, VA 22611
TEL: 703-441-1111

SMARTLINE
SITE #0
MANAGER: PHILIP
TEL: 410-338-8888 FAX: 410-338-2323

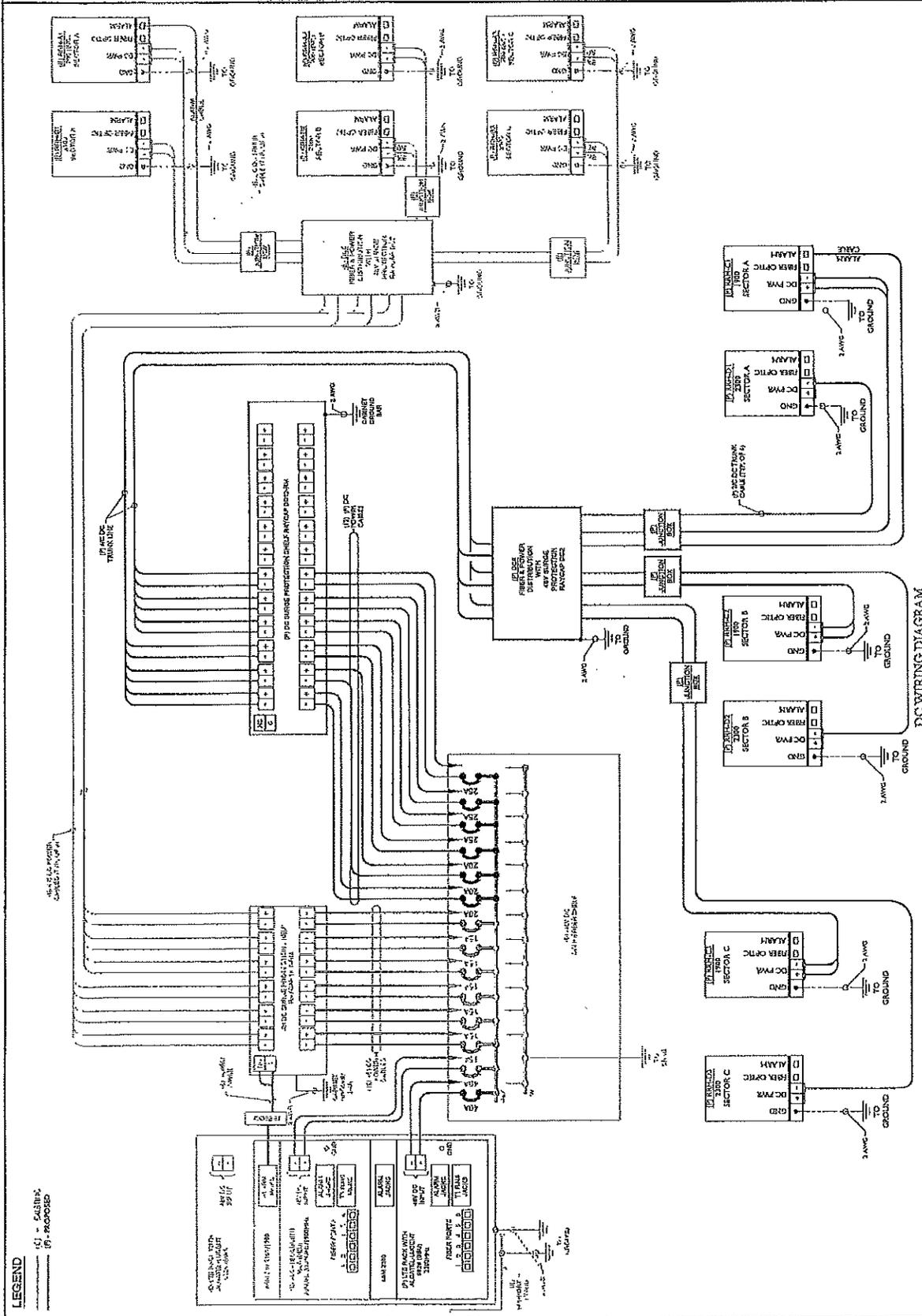
at&t
NEW CIRCULAR WIRELESS P.C. LLC
178 STANDARD DRIVE
HANOVER, MD 21076

SUN
SUN MICROSYSTEMS INC.
1600 CAPITAL BLVD
SUNNYVALE, CA 94088

NICHOLAS ELECTRONICS
10000 W. BERRYVILLE RD.
BERRYVILLE, VA 22611

SITE NAME:
TOWN OF BERRYVILLE
FM 10008492
201 TOM WHITACRE CIRCLE
BERRYVILLE VA 22611
CLARKE COUNTY

DC WIRING DIAGRAM

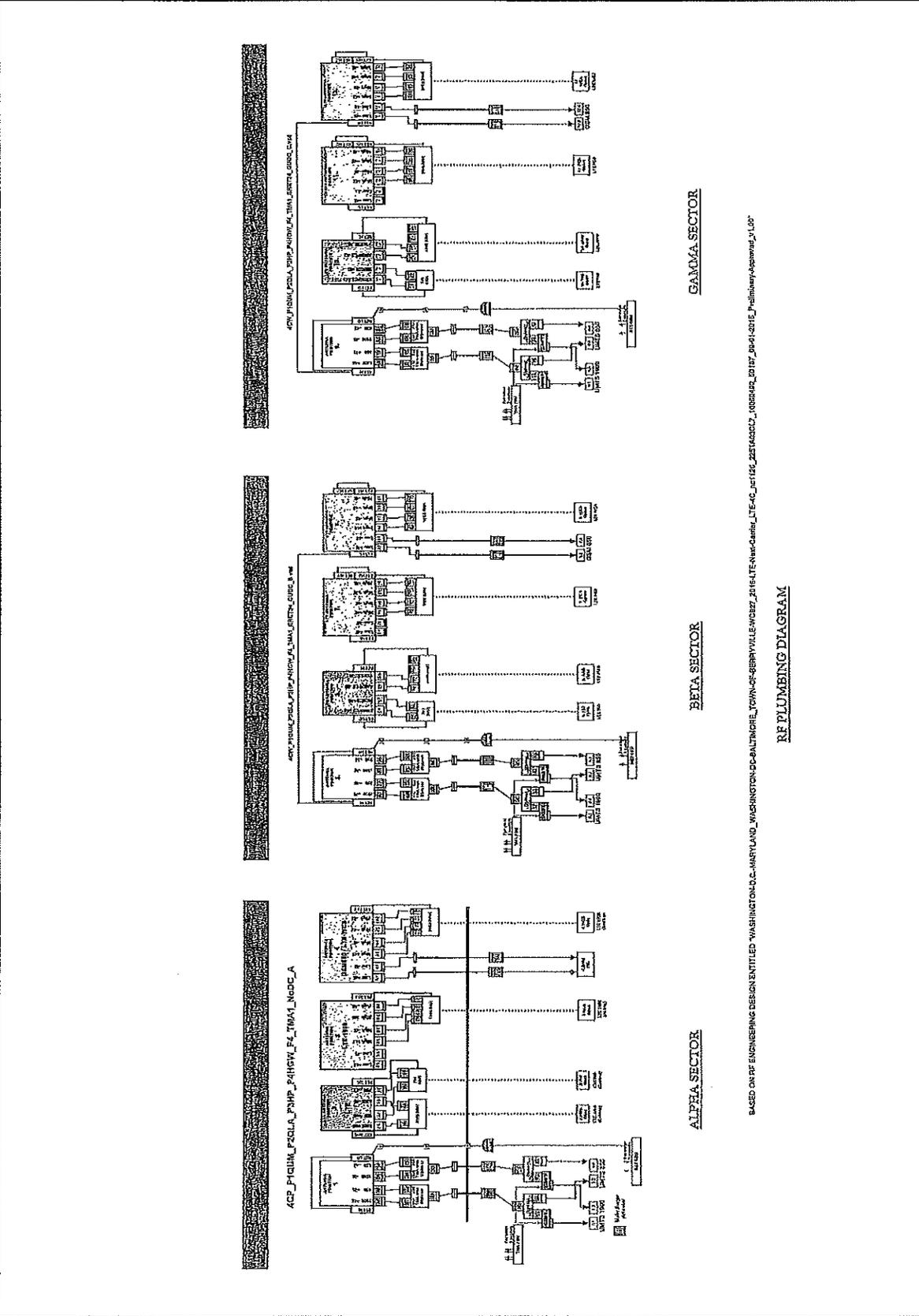


LEGEND
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 (P) - PROPOSED

DC WIRING DIAGRAM

A-13

<p>MASER 10000 WOODBURN AVENUE CLARKE COUNTY, VA 22441 TEL: (540) 884-8400 FAX: (540) 884-8401</p>	<p>smartip 11275 HUNTERSWOOD DRIVE HANOVER, MD 21076 TEL: (410) 824-8481 FAX: (410) 214-0142</p>	<p>at&t NEW YORK, NY 10036 750 STANDARD DRIVE HANOVER, MD 21076</p>		<table border="1"> <tr><th>NO.</th><th>REVISION</th><th>DATE</th><th>BY</th><th>CHKD</th></tr> <tr><td>1</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>2</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>3</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>4</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>5</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>6</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>7</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>8</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>9</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>10</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>11</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>12</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>13</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>14</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>15</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>16</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>17</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>18</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>19</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>20</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>21</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>22</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>23</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>24</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>25</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>26</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>27</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>28</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>29</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>30</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>31</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>32</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>33</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>34</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>35</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>36</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>37</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>38</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>39</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>40</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>41</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>42</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>43</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>44</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>45</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>46</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>47</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>48</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>49</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> <tr><td>50</td><td>ISSUE FOR PERMITS</td><td>05/11/17</td><td>JK</td><td>JK</td></tr> </table>	NO.	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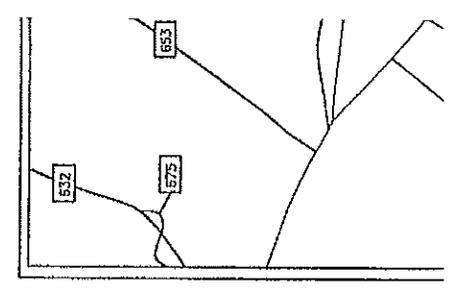
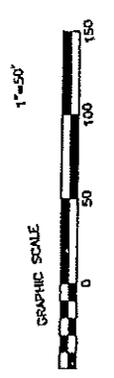
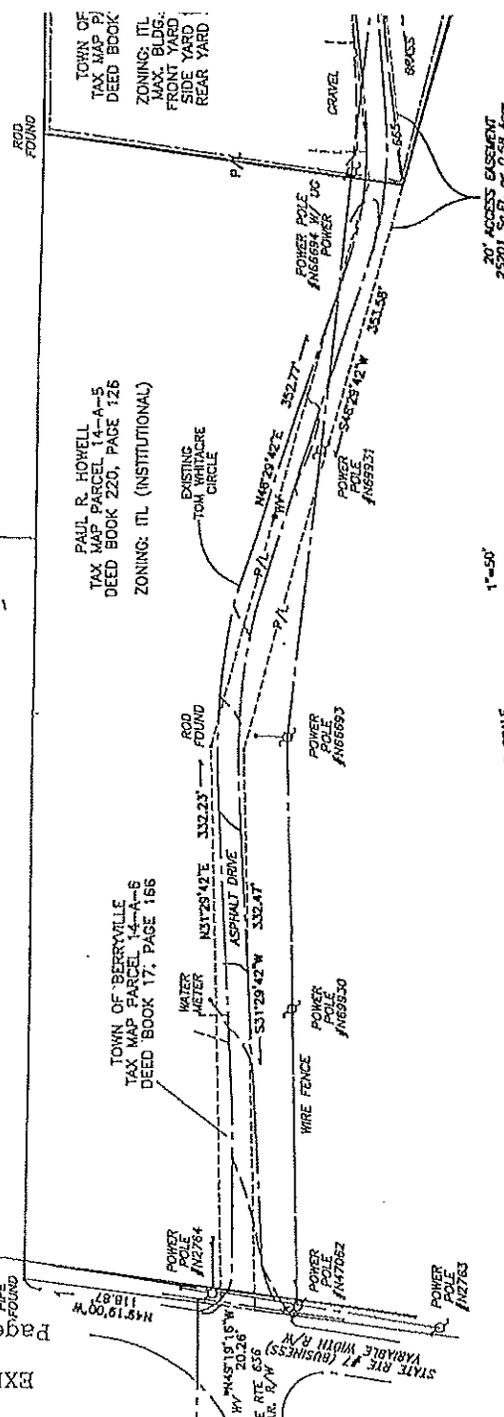
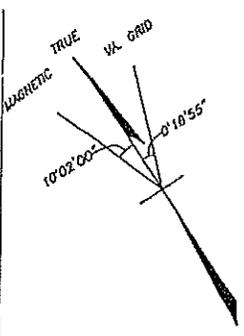
BETA SECTOR

ALPHA SECTOR

BASED ON RF ENGINEERING DESIGN ENTITLED "WASHINGTON D.C. MARYLAND WASHINGTON DC BALTIMORE TOWN OF BERRYVILLE WOODS 2016 LATE-NEAR-CAREER_LTE-C_01162_0256362D_000002_0117_00-01-001E_Preliminary-Approved_v1.rvt"

RF PLUMBING DIAGRAM

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- NOTES:
1. TAX MAP PARCEL # 14-A-6
 2. OWNER, TOWN OF BERRYVILLE, DEED BOOK 17, PAGE 166
 3. THIS SURVEY IS BASED ON A CURRENT FIELD SURVEY DATED 10/27/1988. UNDISCOVERED LIMITS WERE COMPLETED FROM RECORD DOCUMENTS TO REFLECT A SURVEY OF THE PREMISES DIMENSIONS TO UNSURVEYED PROPERTY LINES. THE SURVEY BEARINGS REFERENCED TO NAD 1983 (20 ACCURACY) VERTICAL DATUM IS NAD 1988 (20 ACCURACY). MAGNETIC DECLINATION IS COMPUTED, NOT OBSERVED. THIS PROPERTY LIES IN AN AREA DESIGNATED AS ZONE "C" (AN AREA OF MINIMAL LOCALITY) AS SHOWN ON FIRM COMMUNITY PANEL # 510036 01-13 DATED 9/24/84. SENSITIVE AREAS FOR THE PRESENCE OF WETLANDS OR OTHER ENVIRONMENTALLY UNDERGROUND TANKS OR UTILITIES WAS NOT OF THIS SURVEY. THE LOCATION OF UNDERGROUND TANKS OR UTILITIES WAS NOT OF THIS SURVEY.
 4. AUSTIN BROCKENBROUGH AND ASSOCIATES, ITS PARTNERS, OFFICERS, WILL NOT BE RESPONSIBLE FOR THE PRESENCE OR REMOVAL OF ANY TOXIC WASTES OR MATERIALS ON THE SURFACE, IN ANY STRUCTURE, OR BURIED BENEATH THE SURFACE.
 5. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THE USER REFLECTS ALL ENCUMBRANCES UPON THE PROPERTY.
 6. THE USER REFLECTS ALL ENCUMBRANCES UPON THE PROPERTY.
 7. AND, AS SUCH, NEITHER CONSTITUTES A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.

Attachment 6

FINANCE AND ADMINISTRATION STAFF REPORT

TO: TOWN COUNCIL
FROM: DESIREE MORELAND, TREASURER
SUBJECT: CHARGE OFF OF UNCOLLECTABLE PERSONAL PROPERTY TAXES
PUBLICATION OF DELINQUENT TAXES
DATE: 7/5/2018
CC: KEITH DALTON, TOWN MANAGER

Each July Council passes a resolution charging off uncollectable personal property taxes. Section 58.1-3940 of the Code of Virginia, 1950, as amended, states that the collection of local personal property taxes shall only be enforceable for five years following December 31 of the year for which such taxes were assessed.

Currently we publish a list of delinquent taxes in the Winchester Star and post a copy of the published list in the Town Business Office.

VA Code §§ 58.1-3921 through 58.1-3924 address the publication of delinquent taxes. The delinquent list reflects the account status as of June 30 (§58.1-3922). Unpaid previous years can also be listed unless the statute of limitations has run out. For taxes other than Real Estate, the current year delinquencies plus five years can be listed; Real Estate delinquencies can be listed for 20 years. The Treasurer has the discretion to eliminate people who pay before the list is published or who are current on a valid installment plan.

Our delinquent list is scheduled for publication in the Winchester Star in August 2018 and will be made current prior to publication. Legally we do not have to remove anyone who pays after June 30.

VA Code § 58.1-3924 states that the governing body may cause this list to be published in a newspaper of general circulation in the town or to be made available on any internet site maintained by or for the town.

Kevin Appel, Legal Counsel for the Treasurers' Association of Virginia pointed out that keeping a website list current may be problematic for an office as small as ours. Should Council decide to put the list on our website, he suggested a disclaimer along these lines. "Delinquent taxes on this list conform to the facts as they existed on June 30, 2018, pursuant to Code of Virginia §58.1-3922.

If you have any questions please call me.

FINANCE AND ADMINISTRATION STAFF REPORT

TO: TOWN COUNCIL
FROM: DESIREE MORELAND, TREASURER
SUBJECT: MONTHLY REPORTS
DATE: 7/5/2018
CC: KEITH DALTON, TOWN MANAGER

A/P Check Listing

Checks issued in June 2018.

Bank of America/P-Card Statement

May 2018 P-Card Purchases that were paid on June 25, 2018.



Purchasing Card

BERRYVILLE TOWN OF
 DESIRÉE MORELAND
 XXXX-XXXX-XXXX-
 May 01, 2018 - May 31, 2018

Company Statement

Account Information	Payment Information	Account Summary
Mail Billing Inquiries to: BANKCARD CENTER PO BOX 982238 EL PASO, TX 79998-2238 Customer Service: 1.888.449.2273 24 Hours TTY Hearing Impaired: 1.800.222.7365 24 Hours Outside the U.S.: 1.509.353.6656 24 Hours For Lost or Stolen Card: 1.888.449.2273 24 Hours	Statement Date 05/31/18 Payment Due Date 06/25/18 Days In Billing Cycle 31 Credit Limit \$500,000 Cash Limit \$0 Total Payment Due \$55,163.90	Previous Balance \$49,709.07 Payments -\$49,709.07 Credits \$0.00 Cash \$0.00 Purchases \$55,163.90 Other Debits \$0.00 Overlimit Fee \$0.00 Late Payment Fee \$0.00 Cash Fees \$0.00 Other Fees \$0.00 Finance Charge \$0.00 Current Balance \$55,163.90

Important Messages

**** ATTENTION **** Your account is in dispute for \$324.45.

Please do not send payment. Your automatic payment is scheduled to be credited to this account on 06/25/18.

Cardholder Activity Summary

Account Number Credit Limit	Credits	Cash	Purchases and Other Debits	Total Activity
BOGGS, DEBBIE XXXX-XXXX-XXXX-6011 1,000	0.00	0.00	35.64	35.64

4970907 5516390 5516390 4715291201837237

BANK OF AMERICA
 PO BOX 15731
 WILMINGTON, DE 19886-5731

BERRYVILLE TOWN OF
 DESIRÉE MORELAND
 STE A
 101 CHALMERS CT
 BERRYVILLE, VA 22611-1387

**N0020233

Account Number: XXXX-XXXX-XXXX
 May 01, 2018 - May 31, 2018

Total Payment Due \$55,163.90
Payment Due Date 06/25/18

Enter payment amount

\$

Check here for a change of mailing address or phone numbers.
 Please provide all corrections on the reverse side.

Mail this coupon along with your check payable to:
 BANK OF AMERICA

⑆54999001⑆00051201837237⑈



Transactions

Posting Transaction

Date	Date	Description	Reference Number	MCC	Charge	Credit
05/28	05/24	BERRYVILLE AUTO PARTS INC BERRYVILLE VA	24767898145308600592490	5533	35.64	
BOOR, RICK						Total Activity
Account Number: XXXX-XXXX-XXXX-1273						4,221.09
05/04	05/03	JNO. S SOLENBERGER AND C WINCHESTER VA	24138298124400001626546	5251	223.34	
05/04	05/03	JNO. S SOLENBERGER AND C WINCHESTER VA	24138298124400001626777	5251	96.37	
05/08	05/07	CONSTRUCTION MATERIALS G WINCHESTER VA	24210738128207510800096	1711	340.98	
05/10	05/08	PMSI WINCHESTER 2 703-723-2899 VA	24632698129500588538266	7342	74.00	
05/22	05/21	IN *SELECT SPECIALTY PROD434-2963937 VA	24692168141100834309581	5169	285.61	
05/23	05/21	johnny blue, inc. 540-665-0968 VA	24828248142030032835499	7394	82.00	
05/28	05/24	BROY & SON PUMP SERVICE BERRYVILLE VA	24073148145900014100024	1799	150.00	
05/31	05/29	STUART M PERRY #2 BERRYVILLE VA	24073148150900011900048	1771	667.00	
05/31	05/29	SIGNET SCREEN PRINTING & WINCHESTER VA	24073148150900010100012	7333	408.72	
05/31	05/29	GRIFFITH ENERGY SERVIC 410-956-3000 MD	24258028150017033926181	5983	1,893.07	
BOOTH, KEVIN						Total Activity
Account Number: XXXX-XXXX-XXXX-4654						72.39
05/14	05/11	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978132091404000448	5251	10.76	
05/23	05/22	LOWES #02724* WINCHESTER VA	24692168142100179875625	5200	49.88	
05/28	05/25	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978146091402000238	5251	11.75	
BRISTOL, TIM						Total Activity
Account Number: XXXX-XXXX-XXXX-1664						14.00
05/21	05/18	FESTIVAL DRY CLEANERS BERRYVILLE VA	24603168140030094737016	7216	14.00	
BUSSERT, ERNIE						Total Activity
Account Number: XXXX-XXXX-XXXX-2951						211.76
05/07	05/06	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978127091404000064	5251	43.57	
05/10	05/09	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978130091400000204	5251	118.27	
05/10	05/09	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978130091400000493	5251	49.92	
DUNKLE, CHRISTY						Total Activity
Account Number: XXXX-XXXX-XXXX-6506						143.56
05/03	05/03	DBC*BLICK ART MATERIAL 800-447-1892 IL	24692168123100066080699	5965	46.72	
05/14	05/11	WEBER'S NURSERY & GARDEN WINCHESTER VA	24801978132091669001800	5261	96.84	
ELLIOTT, RALPH						Total Activity
Account Number: XXXX-XXXX-XXXX-9361						2,379.13
05/04	05/02	ANDERSON'S NURSERY BERRYVILLE VA	24061068123016025118721	5261	25.00	
05/08	05/07	THE BLOSSOM COMPANIES IN228-872-8932 MS	24247608127300546819421	5983	430.52	
05/09	05/08	RED BUD SUPPLY 800-4498012 MS	24327438128201400843982	5999	302.77	
05/14	05/11	LOWES #02724* WINCHESTER VA	24692168131100551600479	5200	179.24	
05/14	05/11	SHERWIN WILLIAMS 705251 WINCHESTER VA	24431068131981000018662	5231	1,014.75	
05/16	05/15	SHERWIN WILLIAMS 705251 WINCHESTER VA	24431068135981000019187	5231	380.60	
05/25	05/24	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978145091400000462	5251	23.40	
05/28	05/25	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978146091402000030	5251	22.85	
FERREBEE, DARRELL						Total Activity
Account Number: XXXX-XXXX-XXXX-3095						166.65
05/11	05/10	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978131091402000029	5251	32.27	
05/15	05/14	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978135091400000316	5251	29.38	
05/28	05/25	ANDERSON'S NURSERY BERRYVILLE VA	24061068147016024354949	5261	105.00	
FIDDLER, HEATHER						Total Activity
Account Number: XXXX-XXXX-XXXX-7416						338.90
05/03	05/03	Amazon web services aws.amazon.coVA	24692168123100109365153	7399	0.63	
05/10	05/09	IN *TRUESHRED 888-7508783 VA	24692168129100654895053	7399	49.00	
05/21	05/18	USPS PO 5107560300 BERRYVILLE VA	24445008139001014018426	9402	250.00	
05/23	05/22	USPS PO 5107560300 BERRYVILLE VA	24445008143000959700000	9402	25.45	
05/25	05/24	USPS PO 5107560300 BERRYVILLE VA	24445008145001001364645	9402	13.82	
JACKSON, MIA						Total Activity
Account Number: XXXX-XXXX-XXXX-0630						807.46
05/03	05/02	STAPLS7196860728000001 877-8267755 NJ	24164078122105014633927	5111	274.44	
05/08	05/07	USPS PO 5107560300 BERRYVILLE VA	24445008128000987119719	9402	21.75	
05/09	05/08	STAPLS7197207534000001 877-8267755 NJ	24164078128105079334241	5111	93.33	
05/15	05/14	USPS PO 5107560300 BERRYVILLE VA	24445008135000938695503	9402	1.42	
05/17	05/16	STAPLS7197632684000001 877-8267755 NJ	24164078136105154877148	5111	50.38	
05/17	05/16	STAPLS7197632684000002 877-8267755 NJ	24164078136105974877146	5111	2.24	
05/25	05/24	MARRIOTT NORFOLK WATER NORFOLK VA	24692168144100217576878	3509	343.72	
Arrival: 05/21/18						
05/25	05/23	CITY OF NORFOLK/PARKING NORFOLK VA	24760628144300800377821	7523	13.00	
05/25	05/23	CHICK-FIL-A #00583 NEWPORT NEWS VA	24427338144710008669681	5814	7.18	
LICKEY, PATRICK						Total Activity
Account Number: XXXX-XXXX-XXXX-2602						140.00
05/24	05/22	ANDERSON'S NURSERY BERRYVILLE VA	24061068143016021623316	5261	35.00	

Transactions						
Posting Date	Transaction Date	Description	Reference Number	MCC	Charge	Credit
05/24	05/22	ANDERSON'S NURSERY BERRYVILLE VA	24061068143016021623308	5261	105.00	
						Total Activity
LILLY, STEPHEN						4,423.88
Account Number: XXXX-XXXX-XXXX-3880						
05/03	05/01	TAYLOR TECHNOLOGIES INC 410-4724340 MD	24073148122900015887956	5046	67.66	
05/03	04/23	COYNE CHEMICAL 215-785-3000 PA	24224438123101029049251	5169	1,331.08	
05/11	05/10	USA BLUE BOOK 800-548-1234 IL	24326848130636000069701	5085	55.95	
05/15	05/14	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978135091400000290	5251	42.13	
05/18	05/17	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978138091406000275	5251	62.71	
05/21	05/18	COYNE CHEMICAL 215-785-3000 PA	24224438139101032198154	5169	1,503.85	
05/21	05/18	COYNE CHEMICAL 215-785-3000 PA	24224438139101032198170	5169	1,360.50	
						Total Activity
LINK, BRIAN						108.73
Account Number: XXXX-XXXX-XXXX-						
05/15	05/14	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978135091400000142	5251	34.76	
05/18	05/17	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978138091406000101	5251	73.97	
						Total Activity
MCCORMICK, HARRY						24.48
Account Number: XXXX-XXXX-XXXX-						
05/11	05/10	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978131091402000490	5251	16.50	
05/14	05/13	SNS EAST -2871 BERRYVILLE VA	24427338133720036493981	5411	7.98	
						Total Activity
MORELAND, DESIREE						24,481.94
Account Number: XXXX-XXXX-XXXX-						
05/03	05/02	VERIZON*ONETIMEPAYMENT 800-VERIZON FL	24692168122100778006436	4899	176.46	
05/03	05/02	VERIZON*ONETIMEPAYMENT 800-VERIZON FL	24692168122100778006444	4899	434.10	
05/03	05/02	VERIZON*ONETIMEPAYMENT 800-VERIZON FL	24692168122100778006451	4899	196.31	
05/11	05/10	REPUBLIC SERVICES TRASH 866-576-5548 AZ	24431058130083760572699	4900	19,590.78	
05/11	05/10	REPUBLIC SERVICES TRASH 866-576-5548 AZ	24431058130083757583691	4900	2,318.34	
05/11	05/10	REPUBLIC SERVICES TRASH 866-576-5548 AZ	24431058130083754272520	4900	100.00	
05/11	05/10	VA DMV ONLINE BILLING PAY804-3670595 VA	24755428131121318289713	9399	825.00	
05/14	05/11	VZWRLLS*MY VZ VB P 800-922-0204 FL	24692168131100417284393	4814	754.44	
05/15	05/15	COMCAST 800-COMCAST MD	24692168135100421829957	4899	75.69	
05/22	05/21	TelRite Corporation COVINGTON GA	24393498141004250224246	4814	10.82	
						Total Activity
REYNOLDS, CHARLES						113.50
Account Number: XXXX-XXXX-XXXX-						
05/22	05/21	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978142091404000453	5251	75.99	
05/24	05/23	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978144091408000028	5251	37.51	
						Total Activity
STOVER, KEITH						434.41
Account Number: XXXX-XXXX-XXXX-						
05/03	05/01	BERRYVILLE AUTO PARTS INCBERRYVILLE VA	24767898122157400510443	5533	21.98	
05/15	05/14	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978135091400000019	5251	23.49	
05/18	05/16	BERRYVILLE AUTO PARTS INCBERRYVILLE VA	24767898137255900391109	5533	158.99	
05/21	05/18	TRICK TRUCKS & CARS WINCHESTER VA	24228998138027014682289	5533	229.95	
						Total Activity
TYRRELL, DAVE						15,288.77
Account Number: XXXX-XXXX-XXXX-						
05/02	04/30	RIDDLEBERGER BROTHERS 540-434-1731 VA	24638188121017033959793	1711	2,515.00	
05/02	05/01	IN *POLICE AND SHERIFFS P912-5370780 GA	24692168121100375915832	7399	17.49	
05/02	05/01	JOINER MICRO LABORATORIE 540-347-7212 VA	24435658122200389300046	7399	1,940.00	
05/07	05/04	VIRGINIA TRACTOR-WINCHESTWINCHESTER VA	24067208126000000000073	5599	43.66	
05/08	05/07	AMAZON.COM AMZN.COM/BILL AMZN.COM/BILLWA	24431068127083753270321	5942	927.72	
05/10	05/08	MCMaster-CARR 630-834-9800 IL	24789308129203500054960	5085	100.48	
05/10	05/09	IN *CONSOLIDATED ELECTRIC540-6625994 VA	24692168129100654913674	1731	3,853.00	
05/10	05/09	WINCHESTER STAR 540-667-3200 VA	24224438130103001366548	2741	60.00	
05/10	05/09	THE BLOSSMAN COMPANIES IN228-872-8932 MS	24247608129300557644575	5983	337.71	
05/10	05/09	ROBERTS OXYGEN CO BR 00 800-6263433 MD	24755428130641300752924	5085	29.75	
05/10	05/09	ROBERTS OXYGEN CO BR 00 800-6263433 MD	24755428130641300752973	5085	29.75	
05/11	05/10	NORTHERN VIRGINIA STRASBURG VA	24224438131101001646082	2741	303.80	
05/11	05/09	EAHEART INDUSTRIAL SERVI 804-3557943 VA	24760628130474501047680	1799	155.46	
05/17	05/15	TIRE WORLD WHOLESALE, LLC301-6989200 MD	24639238136900013900181	5532	268.80	
05/24	05/22	MCMaster-CARR 630-834-9800 IL	24789308143294800051519	5085	256.32	
05/24	05/22	MCMaster-CARR 630-834-9800 IL	24789308143294800056864	5085	610.14	
05/24	05/23	WAREHOUSE LIGHTING COM L 414-525-9027 WI	24493988143200678100094	5719	1,465.50	
05/25	05/23	MCMaster-CARR 630-834-9800 IL	24789308144301500054245	5085	23.52	
05/31	05/23	COYNE CHEMICAL 215-785-3000 PA	24224438151101026582473	5169	678.04	
05/31	05/23	COYNE CHEMICAL 215-785-3000 PA	24224438151101026582481	5169	1,331.08	
05/31	05/30	340 FUEL DEPOT LLC BERRYVILLE VA	24801978150006001244576	5542	21.00	
05/31	05/30	THEJOBNETWORK.REALMATCH 212-419-4649 NY	24493988151200160600261	7311	299.00	
05/31	05/30	BERRYVILLE TRUE VALUE BERRYVILLE VA	24801978151091402000198	5251	21.55	
						Total Activity
WHITE, NEAL						1,757.61
Account Number: XXXX-XXXX-XXXX-						
05/09	05/07	HOMEDEPOT.COM 800-430-3376 GA	24610438128010186230702	5200	324.45	



Transactions

Posting Transaction						
Date	Date	Description	Reference Number	MCC	Charge	Credit
05/16	05/15	COMMERCIAL PRESS INC. 5408693496 VA	24801978135608191508528	2741	425.00	
05/17	05/15	GALLS 8592667227 KY	24435658136762336557840	5137	317.89	
05/18	05/15	BERRYVILLE AUTO PARTS INC800-4498012 VA	24767898137255900502515	5533	690.27	

Disputed Transactions

Posting Date	Transaction Date	Description	Account Number	Reference Number	Amount
05/09	05/07	HOMEDEPOT.COM 800-430-3376 GA US	6678	24610438128010186230702	324.45

Finance Charge Calculation

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

	Annual Percentage Rate	Balance Subject to Interest Rate	Finance Charges by Transaction Type
PURCHASES	0.00%	\$0.00	\$0.00
CASH	0.00%	\$0.00	\$0.00

V = Variable Rate (rate may vary), Promotional Balance = APR for limited time on specified transactions.

A/P Check Listing

Vendor Range - 4IMPRINT, INC.' - 'ZENON ENVIRONMENTAL CORPORATION
Date From - 6/1/2018 Date To - 6/30/2018

Town of Berryville
07/05/2018 10:35 AM

Page: 1 of 3

Check Number	Bank	Vendor	Date	Amount
4845	1	Grand Rental Station	06/01/2018	\$75.90
4846	1	Jno. S. Solenberger & Co., Inc	06/01/2018	\$12.26
4847	1	Herbert L. Beskin, Trustee	06/01/2018	\$115.00
4848	1	MIA JACKSON	06/01/2018	\$256.22
4849	1	Bureau for Child Support Enforcement	06/01/2018	\$875.00
4850	1	BERRYVILLE AUTO PARTS	06/01/2018	\$36.00
4851	1	R KENT ELEY	06/01/2018	\$201.40
4852	1	ANDERSON'S NURSERY & GARDEN CENTER	06/12/2018	\$1,375.00
4853	1	Berryville Farm Supply Inc	06/12/2018	\$126.50
4854	1	BRANCHSERV	06/12/2018	\$608.45
4855	1	BRENNEMAN CAROLINE SUE 6528	06/12/2018	\$10.54
4856	1	CABRERA ANA D 2977	06/12/2018	\$34.84
4857	1	CHAVEZ FELIX A 4255	06/12/2018	\$12.44
4858	1	DEHLIN JENIPHER B 3887	06/12/2018	\$58.81
4859	1	GABLE BRADLEY J & MELINDA 5431	06/12/2018	\$84.55
4860	1	GERMAN JEOVEL LOVO PAZ	06/12/2018	\$199.60
4861	1	H2O Pipe Cleaning LLC	06/12/2018	\$1,800.00
4862	1	James River Equipment	06/12/2018	\$884.05
4863	1	MEAWAD MINA NESSIM 6454	06/12/2018	\$26.34
4864	1	Meyercord Revenue Inc.	06/12/2018	\$3,098.10
4865	1	Municipal Safety Sales	06/12/2018	\$1,051.75
4866	1	Rappahannock Electric Cooperative	06/12/2018	\$19,102.81
4867	1	The Winchester Star	06/12/2018	\$800.80
4868	1	THOMAS MARY L 5305	06/12/2018	\$10.84
4869	1	UNIVERSITY OF VIRGINIA	06/12/2018	\$7,290.00
4870	1	Virasec, LLC	06/12/2018	\$349.00
4871	1	VUPS	06/12/2018	\$67.20
4874	1	Douglas A. Shaffer	06/15/2018	\$150.00
4875	1	Keith Dalton	06/15/2018	\$100.00
4876	1	USPS	06/15/2018	\$166.85

A/P Check Listing

Vendor Range - 4IMPRINT, INC.' - 'ZENON ENVIRONMENTAL CORPORATION
Date From - 6/1/2018 Date To - 6/30/2018

Town of Berryville
07/05/2018 10:35 AM

Page: 2 of 3

Check Number	Bank	Vendor	Date	Amount
4877	1	Bureau for Child Support Enforcement	06/19/2018	\$875.00
4878	1	Carroll Construction Co.	06/19/2018	\$262.50
4879	1	Hall, Monahan, Engle, Mahan & Mitchell	06/19/2018	\$1,827.50
4880	1	James River Equipment	06/19/2018	\$1,221.83
4881	1	Lewin Asphalt, Inc	06/19/2018	\$425.79
4882	1	Lincoln Financial Group	06/19/2018	\$746.73
4883	1	Michelle M. Jones	06/19/2018	\$1,050.00
4884	1	Nationwide Retirement Solutions	06/19/2018	\$430.00
4885	1	OCC Health Service Winchester	06/19/2018	\$73.00
4886	1	Southern Software, Inc.	06/19/2018	\$1,125.00
4887	1	Treasurer of Clarke County	06/19/2018	\$7,660.89
4888	1	Treasurer of Frederick County	06/19/2018	\$5,418.66
4889	1	CLARKE COUNTY GENERAL DISTRICT COURT	06/28/2018	\$120.00
4890	1	John H. Enders Fire Company	06/28/2018	\$13,991.00
4891	1	Keith Dalton	06/28/2018	\$31.27
4892	1	Laura Ware	06/28/2018	\$5.00
4893	1	Municipal Code Corporation	06/28/2018	\$250.00
4894	1	PENNONI ASSOCIATES INC	06/28/2018	\$1,080.00
4895	1	PENNONI ASSOCIATES INC	06/28/2018	\$438.75
4896	1	Rappahannock Electric Cooperative	06/28/2018	\$24,362.45
4897	1	Trips Auto & Camper Sales	06/28/2018	\$325.80
4898	1	Tyler Technologies	06/28/2018	\$5,870.66
4899	1	Virasec, LLC	06/28/2018	\$1,752.80
4900	1	CORE & MAIN LP	06/28/2018	\$6,315.17
4901	1	Minnesota Life Insurance Co.	06/28/2018	\$140.52
4902	1	Nationwide Retirement Solutions	06/28/2018	\$405.00
4903	1	OCC Health Service Winchester	06/28/2018	\$292.00
4904	1	USPS	06/28/2018	\$761.20
4905	1	Jno. S. Solenberger & Co., Inc	06/29/2018	\$99.99
4906	1	REYES CONCRETE CO., LLC	06/29/2018	\$2,300.00

A/P Check Listing

Vendor Range - 4IMPRINT, INC.' - 'ZENON ENVIRONMENTAL CORPORATION

Date From - 6/1/2018 Date To - 6/30/2018

Town of Berryville
07/05/2018 10:35 AM

Page: 3 of 3

Check Number	Bank	Vendor	Date	Amount
4907	1	TOWN OF BERRYVILLE	06/29/2018	\$225.00
4908	1	VIRGINIA NUTRIENT CREDIT EXCHANGE ASSOC	06/29/2018	\$625.00
4909	1	ZENON ENVIRONMENTAL CORPORATION	06/29/2018	\$91,525.00
63	Checks Totaling -			\$211,013.76

Totals By Fund

	Checks	Voids	Total
100	\$65,071.90		\$65,071.90
501	\$19,027.39		\$19,027.39
502	\$126,914.47		\$126,914.47
Totals:	\$211,013.76		\$211,013.76

FINANCE AND ADMINISTRATION STAFF REPORT

TO: TOWN COUNCIL
FROM: DESIREE MORELAND, TREASURER
SUBJECT: MONTHLY REPORTS
DATE: 7/5/2018
CC: KEITH DALTON, TOWN MANAGER

A/P Check Listing

Checks issued in June 2018.

Bank of America/P-Card Statement

May 2018 P-Card Purchases that were paid on June 25, 2018.

Attachment 7

TOWN COUNCIL
MOTION FOR APPROVAL:
ADOPTION OF RESOLUTION TO CHARGE OFF
DELINQUENT PERSONAL PROPERTY TAXES FOR TAX YEAR 2012

Date: July 10, 2018

Motion By:

Second By:

I hereby move that the Council of the Town of Berryville adopt the attached resolution to charge off delinquent personal property taxes for Tax Year 2012.

VOTE:

Aye:

Nay:

Absent:

ATTEST: _____
Harry Lee Arnold, Jr., Recorder

TOWN OF BERRYVILLE
TOWN COUNCIL
RESOLUTION

WHEREAS, Section 58.1-3940 of the Code of Virginia, 1950, as amended, provides the collection of local personal property taxes shall only be enforceable for five years following December 31 of the year for which such taxes were assessed, and

WHEREAS, the attached personal property taxes assessed by the Town of Berryville, Virginia for tax year 2012, have remained delinquent for the year for which such taxes were assessed and are therefore rendered unenforceable,

NOW, THEREFORE, BE IT RESOLVED, by the Council of the Town of Berryville, Virginia, in meeting duly assembled this tenth day of July, 2018, that the attached list of delinquent personal property taxes for tax year 2012 shall be charged off the tax records of the Town of Berryville as uncollectible.

Patricia Dickinson, Mayor

I hereby certify that the foregoing Resolution was duly adopted by the Council of the Town of Berryville in meeting assembled July 10, 2018.

ATTEST:

Harry L. Arnold, Jr., Recorder

PERSONAL PROPERTY TO BE CHARGED OFF
2012 DELINQUENT PERSONAL PROPERTY

7/10/2018

2012 ALMENDAREZ VARGAS ADRIAN A	\$15.88
2012 ANDERSON JEROME D	\$120.01
2012 ANDREJKO DAVID ALAN	\$92.92
2012 BELCHER BRENT BRANDON	\$66.05
2012 BROWN STEVEN M & LINDA M	\$218.93
2012 CHRISTAKOS DANIEL JOHN	\$87.67
2012 CLEMENTS CHRISTOPHER LEE	\$51.21
2012 COCONIS DAVID H	\$130.57
2012 CRIM TRACEY L	\$195.38
2012 DAVIS TINA M	\$256.98
2012 DESHEROW MICHAEL P	\$157.26
2012 DMUCHOWSKY ERIC	\$86.90
2012 FISHER-ARRINGTON LISA DIANE	\$40.93
2012 FRYE WILLIAM T & MEGHAN MARIE	\$255.54
2012 GRIMM DEBORAH SUE	\$60.32
2012 HALL CIPPORA-KARRENA E	\$213.21
2012 HUNTER MARK WILLIAM	\$36.11
2012 HUSTED DEBORAH RUTH	\$60.49
2012 HUSTED MICHAEL DAVID	\$69.45
2012 JONES JAMES DALLAS	\$11.85
2012 KIRBY CATHERINE LESLEY	\$4.96
2012 KIZER RICHARD	\$116.97
2012 MANUEL CHRISTINA ANN	\$12.47
2012 MCCLEMENS FREDERICK W	\$117.46
2012 MCMANAMAY AIMEE MICHELLE	\$93.64
2012 MILBOURNE DALTON T II	\$295.67
2012 MILLER PAUL GERHARD	\$62.58
2012 MONTGOMERY CLIFFORD G III	\$102.09
2012 MOYA DORIAN N	\$46.82
2012 PARKER KURT	\$90.93
2012 PAYNE DEBORAH ANN	\$40.93
2012 PIERCE BRANDON MICHAEL	\$15.55
2012 POOLE JAMES E III	\$115.79
2012 SALGUERO OSCAR A	\$35.66
2012 SCOTT JAMES	\$147.73
2012 SIPE RACHEL V NEWLIN	\$56.76
2012 SMITH ANGELA F	\$106.93
2012 STRADY MARY L	\$106.32
2012 SURFACE TAMMY L	\$111.55
2012 SWANK DEBRA L	\$75.33
2012 THOMAS LOGAN D	\$83.65
2012 THOMPSON AMY MARIE	\$57.25
2012 TILLERY DEBBIE MARIE	\$97.23
2012 VIRGINIA SIDING INC	\$67.27
2012 WARD KAREN DENISE	\$40.93

\$4,330.13

DMV FEE	\$850.00
PERSONAL ADVERTISING	\$423.63
PERSONAL INTEREST	\$451.87
PERSONAL PENALTY	\$81.15
PERSONAL PRINCIPLE	\$840.87
VEH LICENSE FEE	\$1,172.61
VLF LATE FEE	\$510.00
	\$4,330.13

Attachment 8

TOWN COUNCIL
MOTION AUTHORIZING PUBLICATION OF
DELINQUENT REAL ESTATE AND PERSONAL PROPERTY TAXES

Date: July 10, 2018

Motion By:

Second By:

I hereby move that the Council of the Town of Berryville authorize publication of the names of those delinquent for personal property and real estate taxes pursuant to Section 58.1-3924 of the Code of Virginia, As Amended.

VOTE:

Aye:

Nay:

Absent:

ATTEST: _____
Harry Lee Arnold, Jr., Recorder

DELINQUENT TAX LIST TO COUNCIL – JULY 10, 2018

No real estate improperly placed on the land book, or which is not ascertainable, with the amount of taxes charged to such property.

DELINQUENT PERSONAL PROPERTY TAXES

DELINQUENT TAX REPORT-JULY 2, 2017

2012 DELINQUENT PERSONAL PROPERTY

2012 ALMENDAREZ VARGAS ADRIAN A	\$15.88
2012 ANDERSON JEROME D	\$120.01
2012 ANDREJKO DAVID ALAN	\$92.92
2012 BELCHER BRENT BRANDON	\$66.05
2012 BROWN STEVEN M & LINDA M	\$218.93
2012 CHRISTAKOS DANIEL JOHN	\$87.67
2012 CLEMENTS CHRISTOPHER LEE	\$51.21
2012 COCONIS DAVID H	\$130.57
2012 CRIM TRACEY L	\$195.38
2012 DAVIS TINA M	\$256.98
2012 DESHEROW MICHAEL P	\$157.26
2012 DMUCHOWSKY ERIC	\$86.90
2012 FISHER-ARRINGTON LISA DIANE	\$40.93
2012 FRYE WILLIAM T & MEGHAN MARIE	\$255.54
2012 GRIMM DEBORAH SUE	\$60.32
2012 HALL CIIPPORA-KARRENA E	\$213.21
2012 HUNTER MARK WILLIAM	\$36.11
2012 HUSTED DEBORAH RUTH	\$60.49
2012 HUSTED MICHAEL DAVID	\$69.45
2012 JONES JAMES DALLAS	\$11.85
2012 KIRBY CATHERINE LESLEY	\$4.96
2012 KIZER RICHARD	\$116.97
2012 MANUEL CHRISTINA ANN	\$12.47
2012 MCCLEMENS FREDERICK W	\$117.46
2012 MCMANAMAY AIMEE MICHELLE	\$93.64
2012 MILBOURNE DALTON T II	\$295.67
2012 MILLER PAUL GERHARD	\$62.58
2012 MONTGOMERY CLIFFORD G III	\$102.09
2012 MOYA DORIAN N	\$46.82
2012 PARKER KURT	\$90.93
2012 PAYNE DEBORAH ANN	\$40.93
2012 PIERCE BRANDON MICHAEL	\$15.55
2012 POOLE JAMES E III	\$115.79
2012 SALGUERO OSCAR A	\$35.66
2012 SCOTT JAMES	\$147.73
2012 SIPE RACHEL V NEWLIN	\$56.76
2012 SMITH ANGELA F	\$106.93
2012 STRADY MARY L	\$106.32
2012 SURFACE TAMMY L	\$111.55
2012 SWANK DEBRA L	\$75.33
2012 THOMAS LOGAN D	\$83.65
2012 THOMPSON AMY MARIE	\$57.25
2012 TILLERY DEBBIE MARIE	\$97.23

2012 VIRGINIA SIDING INC	\$67.27
2012 WARD KAREN DENISE	\$40.93
	\$4,330.13

2013 DELINQUENT PERSONAL PROPERTY

2013 ALMENDAREZ VARGAS ADRIAN A	\$14.44
2013 ANDERSON JEROME D	\$114.00
2013 ANDREJKO DAVID ALAN	\$7.56
2013 BELCHER BRENT BRANDON	\$16.40
2013 BOWIE LARRY E	\$47.16
2013 BROWN STEVEN M	\$112.24
2013 CHRISMAN JOSHUA JACOB	\$23.02
2013 CHRISTAKOS DANIEL JOHN	\$139.12
2013 CLEMENTS CHRISTOPHER LEE	\$51.15
2013 COCONIS DAVID H	\$77.49
2013 CRIM TRACEY L	\$139.93
2013 DAVIS TINA M	\$121.32
2013 DENNIS BILLY M	\$60.50
2013 DMUCHOWSKY ERIC	\$51.17
2013 DMUCHOWSKY KATRINA	\$98.20
2013 FRYE WILLIAM T & MEGHAN MARIE	\$262.35
2013 GALLAGHER MICHAEL J	\$115.06
2013 HALL CIPPORA-KARRENA E	\$148.08
2013 HARWELL STEPHEN R	\$97.92
2013 HOLLINGSWORTH CHRISTOPHER JOHN	\$97.82
2013 HUSTED MICHAEL DAVID	\$42.94
2013 KIZER RICHARD	\$64.24
2013 MCALISTER GLENN ALLEN	\$117.60
2013 MCCOY MICHEAL L	\$57.43
2013 MCMANAMAY AIMEE MICHELLE	\$92.78
2013 MILBOURNE DALTON T II	\$259.57
2013 MILLER PAUL GERHARD	\$62.29
2013 MONTGOMERY CLIFFORD G III	\$93.60
2013 MOYA DORIAN N	\$97.24
2013 MULLINS HOLLY NICOLE	\$154.74
2013 PARKER KURT	\$83.92
2013 PAYNE DEBORAH ANN	\$41.96
2013 POOLE JAMES E III	\$113.93
2013 POWELL JESSE P JR	\$146.52
2013 SALGUERO OSCAR A	\$74.58
2013 SCHEMERING SUSAN CAROLE	\$47.05
2013 SCOTT JAMES	\$196.96
2013 SIPE RACHEL V NEWLIN	\$94.08
2013 SMITH ANGELA F	\$13.19
2013 STRADY MARY L	\$68.22
2013 SURFACE TAMMY L	\$108.32

2013 SWANK DEBRA L	\$71.39
2013 THOMPSON PHILLIP CHRISTOPHER	\$96.89
2013 VIRGINIA SIDING INC	\$56.31
	\$4,050.68

2014 DELINQUENT PERSONAL PROPERTY

2014 ALMENDAREZ VARGAS ADRIAN A	\$12.30
2014 ANDERSON JEROME D	\$109.78
2014 ANDREJKO DANIELLE PENDLETON	\$116.01
2014 ANDREJKO DAVID ALAN	\$98.69
2014 BOWIE LARRY E	\$38.61
2014 BRANDT KIMBERLY MARIE	\$95.12
2014 BROWN STEVEN M	\$92.75
2014 CHRISMAN JOSHUA JACOB	\$75.36
2014 CHRISTAKOS DANIEL JOHN	\$77.22
2014 CLEMENTS CHRISTOPHER LEE	\$49.30
2014 CLEMENTS HEATHER MARIE	\$30.43
2014 COCONIS DAVID H	\$41.01
2014 CRIM TRACEY L	\$91.26
2014 DAVIS TINA M	\$95.78
2014 DIETRICH JOHN WILLIAM	\$103.12
2014 FORD TIMOTHY SPENCER	\$125.13
2014 GALLAGHER MICHAEL J	\$65.08
2014 GORDON LAVARN D	\$11.11
2014 GROOMS JENNIFER RAE	\$18.21
2014 HALL CIPPORA-KARRENA E	\$136.58
2014 HOLLINGSWORTH CHRISTOPHER JOHN	\$61.17
2014 HUSTED MICHAEL DAVID	\$8.64
2014 KIZER RICHARD	\$63.44
2014 MAGUIRE JUSTIN A	\$39.18
2014 MCMANAMAY AIMEE MICHELLE	\$87.30
2014 MILBOURNE DALTON T II	\$220.44
2014 MILLER PAUL GERHARD	\$59.96
2014 MONTGOMERY CLIFFORD G III	\$87.83
2014 MOYA DORIAN N	\$38.61
2014 MULLINS HOLLY NICOLE	\$134.79
2014 PARKER KURT	\$38.61
2014 PAYNE DEBORAH ANN	\$38.61
2014 POOLE JAMES E III	\$98.94
2014 POWELL JESSE P JR	\$90.66
2014 SCHEMERING SUSAN CAROLE	\$10.46
2014 SIPE RACHEL V NEWLIN	\$16.85
2014 STRADY MARY L	\$28.69
2014 SURFACE TAMMY L	\$91.21
2014 SWANK DEBRA L	\$66.73
2014 TABB LORETTA H	\$113.14

2014 THOMPSON PHILLIP CHRISTOPHER	\$77.22
2014 VICHARE SAPTARSHI VIVEK	\$54.24
2014 VIRGINIA SIDING INC	\$102.77
	\$3,112.34

2015 DELINQUENT PERSONAL PROPERTY

2015 ANDERSON JEROME D	\$100.75
2015 ANDREJKO DANIELLE PENDLETON	\$112.82
2015 ANDREJKO DAVID ALAN	\$48.03
2015 BAUSERMAN PEGGY A	\$10.34
2015 BOWIE LARRY E	\$38.49
2015 BROWN STEVEN M	\$89.30
2015 CHRISTAKOS DANIEL JOHN	\$76.98
2015 CLEMENTS CHRISTOPHER LEE	\$48.44
2015 COCONIS DAVID H	\$77.33
2015 CORBIN JESSICA D	\$46.69
2015 CRIM TRACEY L	\$81.96
2015 DAVIS TINA M	\$138.00
2015 DIETRICH JOHN WILLIAM	\$53.70
2015 FOCACCIA ITALIAN GRILL	\$568.05
2015 FORD TIMOTHY SPENCER	\$175.11
2015 FREEMAN WILLIAM E JR	\$97.66
2015 GALLAGHER MICHAEL J	\$65.77
2015 GOODMAN BRENDA LEE	\$128.77
2015 HALL CIIPPORA-KARRENA E	\$125.20
2015 HICKOK SHANNIE K	\$98.61
2015 HOLLINGSWORTH CHRISTOPHER JOHN	\$59.27
2015 JACKSON JAIME N	\$25.25
2015 JOHNSON DAVID C	\$107.58
2015 KERNS KEVIN M	\$101.15
2015 KIZER RICHARD	\$64.22
2015 LA ROCHE KATHRYN A	\$16.74
2015 LEE BRIAN ANTHONY	\$98.73
2015 MASQUITH MICHAEL JOSEPH	\$49.65
2015 MAYNARD BRETT S	\$99.94
2015 MCALISTER GLENN ALLEN	\$38.49
2015 MCMANAMAY AIMEE MICHELLE	\$86.72
2015 MILBOURNE DALTON T II	\$229.83
2015 MILLER JESSE PAUL	\$57.93
2015 MILLER PAUL GERHARD	\$58.55
2015 MONTGOMERY CLIFFORD G III	\$87.65
2015 MOYA DORIAN N	\$38.49
2015 MULLINS HOLLY NICOLE	\$62.12
2015 NELSON DANIEL E	\$127.31
2015 NIX MALCOLM E	\$97.09
2015 PARKER KURT	\$38.49

2015 PAYNE DEBORAH ANN	\$38.49
2015 PETERSON AFTON ENGELINA	\$59.40
2015 PIERCE MOLLY CATHRYN	\$145.72
2015 POOLE JAMES E III	\$98.02
2015 POWELL JESSE P JR	\$94.03
2015 QUEEN DAVID BRUCE	\$106.10
2015 ROBERTS ANTONIO FRANKLIN	\$94.41
2015 SHIPLEY JAMES ROBERT	\$42.15
2015 STAFFIERI JONATHAN P	\$16.90
2015 STRADY MARY L	\$58.97
2015 TABB LORETTA H	\$14.68
2015 THOMPSON PHILLIP CHRISTOPHER	\$52.76
2015 VICHARE SAPTARSHI VIVEK	\$62.68
2015 VIRGINIA SIDING INC	\$53.59
2015 WHALEN ELIZABETH J	\$72.89
2015 WHITE ANTHONY REINARD	\$177.41
	\$4,915.40

2016 DELINQUENT PERSONAL PROPERTY

2016 ALLISON DEBORAH D	\$132.11
2016 AMOS JOSHUA K	\$66.50
2016 ANDERSON JEROME D	\$88.24
2016 ANDREJKO DANIELLE PENDLETON	\$98.34
2016 ANDREJKO DAVID ALAN	\$43.85
2016 ASAN ADRIANA P	\$61.26
2016 AVALOS CLAUDIO G	\$279.53
2016 BAILEY FREDDIE J	\$148.52
2016 BARAHONA CARLOS A	\$145.17
2016 BATTLETOWN INN	\$483.28
2016 BETHEL SEAN M II	\$108.19
2016 BLAKE PENNI M	\$85.48
2016 BOLDEN CANDACE L	\$48.66
2016 BOWIE LARRY E	\$35.00
2016 BROWN STEVEN M	\$76.81
2016 BROWN THOMAS H	\$40.02
2016 BRYAN BRITTANY ANNE	\$99.74
2016 CALDWELL SANTMYER	\$3,389.85
2016 CANTRALL JASON M	\$67.72
2016 CARNAHAN CHARLES D	\$178.32
2016 CHRISTAKOS DANIEL JOHN	\$70.00
2016 CLAY DAVID KARLOS	\$84.65
2016 CLEMENTS CHRISTOPHER LEE	\$43.14
2016 COCONIS DAVID H	\$71.20
2016 CORBIN JESSICA D	\$161.08
2016 CRIM TRACEY L	\$75.47
2016 DAVIS LARRY V JR	\$6.63

2016 DAVIS TINA M	\$119.85
2016 DIETRICH JOHN WILLIAM	\$49.06
2016 DILLON PATRICK JAMES	\$101.43
2016 DOLINGER ALLEN L	\$151.29
2016 ELMORE NOBLE N	\$86.81
2016 ESPAROLINI MONA C	\$93.70
2016 FOCACCIA ITALIAN GRILL	\$523.28
2016 FORD TIMOTHY SPENCER	\$124.81
2016 FREEMAN SHEILA A	\$44.68
2016 FREEMAN WILLIAM E JR	\$55.57
2016 GALLAGHER MICHAEL J	\$59.36
2016 GOODMAN BRENDA LEE	\$117.96
2016 GRAY LINCOLN TAJAH JAZELL	\$55.01
2016 GREEN JOHN F JR	\$39.71
2016 GREEN SHERYL B	\$121.47
2016 HALL CIIPPORA-KARRENA E	\$71.10
2016 HALLEX MATTHEW LOGAN	\$56.28
2016 HAMPEL BRIAN JOSEPH	\$108.32
2016 HICKOK SHANNIE K	\$9.18
2016 HIGDON SEAN WILLIAM	\$89.36
2016 HOLLINGSWORTH CHRISTOPHER JOHN	\$50.39
2016 HOLSINGER CANDACE LA	\$56.87
2016 HUMMER CARRIE E	\$77.86
2016 JENKINS IRENE KAY	\$106.16
2016 JENKINS LARRY P	\$120.00
2016 JOHNSON DAVID C	\$66.40
2016 JOHNSON OLYMPIA ANNA MARIE	\$72.83
2016 KERNS KEVIN M	\$49.37
2016 KIZER RICHARD	\$57.84
2016 LEE BRIAN ANTHONY	\$4.90
2016 LEWIS CAROLYN MARIE	\$85.00
2016 LLOYD MICHAEL A	\$120.46
2016 MALICK KENNETH R JR	\$99.16
2016 MASQUITH MICHAEL JOSEPH	\$42.89
2016 MAYNARD BRETT S	\$79.26
2016 MCALISTER GLENN ALLEN	\$35.00
2016 MCGEOUGH JAMES	\$140.37
2016 MCMANAMAY AIMEE MICHELLE	\$79.06
2016 MENDEZ XAVIER EVAN	\$95.69
2016 MILBOURNE DALTON T II	\$194.60
2016 MILLER JESSE PAUL	\$4.18
2016 MILLER PAUL GERHARD	\$50.39
2016 MONTGOMERY CLIFFORD G III	\$80.07
2016 MORINA CHARLES WILLIS	\$177.50
2016 MOYA DORIAN N	\$35.00
2016 MULLINS HOLLY NICOLE	\$49.06
2016 NELSON DANIEL E	\$111.90

2016 NIX MALCOLM E	\$43.24
2016 PARKER KURT	\$35.00
2016 PAYNE ANTWAIN TYREE	\$120.00
2016 PAYNE DEBORAH ANN	\$35.00
2016 PAYNE VIRGINIA ANN	\$95.79
2016 PEFFER SCOTT B	\$85.00
2016 PIERCE MOLLY CATHRYN	\$131.08
2016 POOLE JAMES E III	\$87.49
2016 POOLE JAMES WILLIS	\$63.36
2016 POWELL JESSE P JR	\$84.86
2016 QUEEN DAVID BRUCE	\$45.48
2016 REAP MEGAN	\$28.66
2016 REID EBONY C	\$94.26
2016 ROBERTS ANTONIO FRANKLIN	\$46.71
2016 RUSSELL OCTAVIA S	\$89.18
2016 SALAZAR JESSICA LAINE	\$85.00
2016 SHANTI JAMIN FIACRE	\$19.79
2016 STRADY MARY L	\$51.50
2016 TANKS CLARENCE LEROY JR	\$67.28
2016 TAPSCOTT JESSICA B	\$195.76
2016 THOMPSON PHILLIP CHRISTOPHER	\$43.24
2016 TURNER KEVIN LEE	\$211.45
2016 TURNER MICHAEL T	\$62.01
2016 VANNESS DAVID ALAN	\$59.57
2016 VANNESS DAVID ALAN	\$45.49
2016 VICHARE SAPTARSHI VIVEK	\$53.24
2016 VIRGINIA SIDING INC	\$44.81
2016 WALKER AMANDA L	\$103.53
2016 WEBB AND SONS CONSTRUCTION INC	\$209.56
2016 WESTERGARD CASSANDRA N	\$207.59
2016 WHALEN ELIZABETH J	\$12.19
2016 WHITE ANTHONY REINARD	\$27.21
2016 WILLINGHAM DOROTHY LEE	\$98.45
2016 WOODWARD ROGER W	\$196.80
2016 WRIGHT JEREMY T	\$48.24
2016 WRIGHT JESSICA CLOTZMAN	\$106.50
	\$13,443.52

2017 DELINQUENT PERSONAL PROPERTY

2017 AEVIPRO SERVICES LLC	\$14.45
2017 ALI FARMAN	\$95.76
2017 ALLEN CINDY R	\$101.92
2017 ALLISON DEBORAH D	\$76.95
2017 ALLISON MEGAN M	\$90.68
2017 ALSBERRY JAMES F JR	\$266.58
2017 AM-LINER EAST INC	\$420.19

2017 AMOS JOSHUA K	\$77.50
2017 ANDERSON JEROME D	\$81.97
2017 ANDREJKO DANIELLE PENDLETON	\$88.92
2017 ANDREJKO DAVID ALAN	\$40.23
2017 ANGELES CHAVEZ EFREN	\$138.99
2017 ASAN ADRIANA P	\$65.83
2017 AVALOS CLAUDIO G	\$186.64
2017 AYCOCK JESSE RAY	\$88.59
2017 BAILEY FREDDIE J	\$98.62
2017 BAKER TYRISHA L	\$85.00
2017 BARAHONA CARLOS A	\$80.04
2017 BENNER MARK A	\$47.80
2017 BENNETT AMANDA H	\$59.18
2017 BETHEL SEAN M II	\$5.08
2017 BINGHAM DORIS J	\$62.18
2017 BLAKE PENNI M	\$36.79
2017 BLICK RICHARD W	\$245.86
2017 BODDICKER AUSTIN C	\$89.74
2017 BOLDEN CANDACE L	\$51.62
2017 BOSS MECHANICAL SERVICES LLC	\$147.21
2017 BOWIE LARRY E	\$35.00
2017 BOWKER EILEEN JANELLE ANGELINE	\$110.19
2017 BRIAN DENNIS WAYNE	\$120.00
2017 BROWN STEVEN J	\$85.00
2017 BROWN STEVEN M	\$69.44
2017 BROWN THOMAS H	\$52.21
2017 BRYAN BRITTANY ANNE	\$145.41
2017 CABRERA ANA D	\$301.43
2017 CANTRALL JASON M	\$59.29
2017 CARNAHAN CHARLES D	\$115.58
2017 CHRISTAKOS DANIEL JOHN	\$70.00
2017 CLARK TIFFANY N	\$154.51
2017 CLAY DAVID KARLOS	\$140.00
2017 CLEMENTS CHRISTOPHER LEE	\$35.00
2017 COCONIS DAVID H	\$64.52
2017 COCUZZI VICKI M	\$122.30
2017 COLLINS CHRISTOPHER K	\$85.00
2017 CONLON ERIN C	\$73.38
2017 CONOPCO INC	\$53.61
2017 COUMES JOSHUA A	\$103.82
2017 CREAMER JAMICHAEL R	\$103.42
2017 CRIM TRACEY L	\$68.24
2017 CROSSLEY NICHOLAS R	\$90.44
2017 DAUGHTRY DANNIE CARLTON	\$324.47
2017 DAUGHTRY SHANNON MICHELLE	\$143.23
2017 DAVIS LARRY V JR	\$93.95
2017 DAVIS TINA M	\$100.90

2017 DAY-SCHILLER SIGMUND G	\$259.31
2017 DENNIS KAITLYNNE ALEXIS	\$87.62
2017 DIETRICH JOHN WILLIAM	\$44.77
2017 DILLON KRISTEN MARIE	\$114.62
2017 DILLON PATRICK JAMES	\$83.19
2017 DINKINS DIANE SCHOEB	\$91.15
2017 DINKINS GUY N II	\$121.05
2017 DOLINGER ALLEN LACY	\$51.51
2017 DOLINGER MICHAEL W	\$103.23
2017 DOWNARD CAMSEY ANN	\$139.65
2017 EDWARD CORY	\$97.28
2017 EISENHOWER TRACIE LYNN	\$10.73
2017 ELMORE NOBLE N	\$48.01
2017 ERWIN RACHEL A	\$6.33
2017 ESPAROLINI MONA C	\$45.98
2017 FIFUEKD DESIGN CONSTRUCTION INC	\$41.29
2017 FLORA PAMELA H	\$108.26
2017 FORD TIMOTHY SPENCER	\$117.70
2017 FOX VENEICE R	\$113.42
2017 FREEMAN SHEILA A	\$40.96
2017 FREEMAN WILLIAM E JR	\$41.74
2017 GALLAGHER MICHAEL J	\$53.24
2017 GOODMAN BRENDA LEE	\$228.62
2017 GREEN JOHN F JR	\$86.45
2017 GREEN SHERYL B	\$82.24
2017 GREGORY BROOKE MARIE	\$72.67
2017 GUIDRY BILLIE JO	\$93.03
2017 GUSTAFSON ERIC A	\$41.64
2017 HALL CIIPPORA-KARRENA E	\$35.00
2017 HALL LAURA E	\$67.13
2017 HAMPEL BRIAN JOSEPH	\$131.44
2017 HANS CHRISTINA G	\$85.00
2017 HEFLIN BARBARA LEE	\$54.45
2017 HEFLIN JEFFREY W	\$235.04
2017 HEISHMAN JASON J	\$95.08
2017 HEMP CHRISTINA L	\$135.27
2017 HIGDON SEAN WILLIAM	\$6.73
2017 HOAGLAND RANDY A	\$64.14
2017 HOLLINGSWORTH CHRISTOPHER JOHN	\$44.97
2017 HOLSINGER CANDACE LA	\$49.11
2017 HUMMER CARRIE E	\$4.32
2017 JACKSON SHIFFON N	\$72.72
2017 JENKINS IRENE KAY	\$59.92
2017 JENKINS LARRY P	\$74.61
2017 JENNINGS LORENZO ERIC JR	\$170.66
2017 JEWELL MICHAEL W	\$142.76
2017 JOHNSON DAVID C	\$54.75

2017 JOHNSON GEORGE F JR	\$283.52
2017 JOHNSON MICHAEL W	\$3.54
2017 JOHNSON OLYMPIA ANNA MARIE	\$110.60
2017 KASHANI CHELSEA B	\$114.99
2017 KASTER CHARLES A	\$168.65
2017 KEHOE AUDREY H	\$18.10
2017 KERNS KEVIN M	\$45.08
2017 KESSINGER BRIAN K II	\$45.77
2017 KING JENNIFER ANNE	\$122.77
2017 KIZER RICHARD	\$51.92
2017 KOR TEK INC	\$47.61
2017 KRUSE JESSICA LYNN	\$210.73
2017 KUSHNIR DAVID W	\$85.00
2017 LAGUARDIA TERRI L	\$108.93
2017 LAWRENCE ANDREW S	\$92.57
2017 LEE JOSEPH WAYNE	\$184.50
2017 LEE ROBERT B III	\$99.76
2017 LLOYD AARON R	\$97.41
2017 MALICK KENNETH R JR	\$44.66
2017 MALOY CHARLES	\$109.77
2017 MARCHESE SETH RYAN	\$85.89
2017 MASON FORD YOLANDA V	\$60.91
2017 MASON RICARDO M	\$120.00
2017 MASQUITH MICHAEL JOSEPH	\$36.70
2017 MASQUITH SANDRA LEE	\$320.50
2017 MCALISTER GLENN ALLEN	\$35.00
2017 MCGEOUGH JAMES	\$77.37
2017 MCINTYRE MICHAEL PAUL	\$147.80
2017 MCLAIN DAVID H	\$224.39
2017 MCMANAMAY AIMEE MICHELLE	\$75.02
2017 MCWILLIAMS THOMAS G	\$39.54
2017 MELVILLE ALEXANDER J	\$121.47
2017 MILBOURNE DALTON T II	\$165.99
2017 MILLER PAUL GERHARD	\$43.98
2017 MONTGOMERY CLIFFORD G III	\$75.44
2017 MORGAN DUSTIN K	\$115.62
2017 MORGAN HILTON NATHANIEL JR	\$60.91
2017 MOTEN CONSTANCE ANN	\$93.98
2017 MOYA DORIAN N	\$35.00
2017 MULLINS HOLLY NICOLE	\$43.57
2017 MYERS TOOLS INC	\$124.09
2017 NELSON DANIEL E	\$42.05
2017 O'HIGGINS SHAWNA L	\$124.88
2017 OLIVER THOMAS H	\$157.62
2017 OLIVER THOMAS H	\$108.56
2017 OWENS-KOYSH AMY S	\$1.83
2017 PAIGE THELMA J	\$2.62

2017 PARET CHARLES PAXTON	\$219.27
2017 PARKER KURT	\$35.00
2017 PAYNE ANTWAIN TYREE	\$105.00
2017 PAYNE DEBORAH ANN	\$35.00
2017 PAYNE MELINDA LE RAE	\$90.56
2017 PAYNE VIRGINIA ANN	\$41.43
2017 PEFFER SCOTT B	\$35.00
2017 PERRY RYAN L	\$124.29
2017 PIERCE MOLLY CATHRYN	\$120.48
2017 PLACE ARIEL R	\$30.42
2017 POLAND DAVID WAYNE	\$100.00
2017 POOLE JAMES E III	\$80.87
2017 POOLE JAMES WILLIS	\$41.35
2017 POWELL JESSE P JR	\$76.70
2017 POWELL KENNIS DENIS	\$180.11
2017 QUEEN DAVID BRUCE	\$3.13
2017 QUILLING ANDREW L	\$230.78
2017 REAP MEGAN	\$86.61
2017 REED SEAN M	\$112.91
2017 REED TERRI LYNN	\$57.65
2017 REID EBONY C	\$78.55
2017 REID JASON ALAN	\$67.40
2017 RITTER DARRIN MICHAEL	\$143.73
2017 ROBERTS ANTONIO FRANKLIN	\$41.15
2017 RODRIGUEZ ADBEEL QUILES	\$145.45
2017 ROGERS JAMES W	\$99.85
2017 ROMANOWICZ ROBERT ANTHONY	\$96.29
2017 ROSE MEREDITH C	\$95.87
2017 ROSE MICHAEL RYAN	\$85.00
2017 ROSENBERRY MARIGRACE F	\$86.35
2017 RUSSELL DENISE L	\$91.51
2017 RYMAN CHRISTINE MARIE	\$94.42
2017 SALAZAR JESSICA LAINE	\$35.00
2017 SANCHEZ NATHAN N	\$86.39
2017 SANTANA PERRY ISAIAH JESUS	\$93.28
2017 SCHOFIELD KEVIN T	\$120.11
2017 SCHOFIELD SHAWN M	\$129.36
2017 SEIDITA ELIZABETH L	\$118.76
2017 SHAAJHANTE MIKISA AMEYAN	\$130.07
2017 SHANAHAN GERALD EDWARD	\$213.13
2017 SHERMAN JORDAN M	\$55.37
2017 SHIPMAN ROGER D SR	\$87.23
2017 SMITH DOUGLAS A	\$90.75
2017 SMITH JENNIFER M	\$150.45
2017 SNEAD JONATHON G	\$120.95
2017 SODERLUND ALEX W	\$57.97
2017 SPOONER MARK W TRUST	\$335.78

2017 STOKES MICHAEL B	\$170.41
2017 STONECIPHER JULIE W	\$85.00
2017 STRADY MARY L	\$44.66
2017 STULTZ SARAH E	\$43.25
2017 TANKS CLARENCE LEROY JR	\$335.14
2017 TAPSCOTT JESSICA B	\$73.46
2017 THOMPSON CHARLENE BETH	\$69.85
2017 TILLEY NATHAN JOHN CHARLES	\$539.37
2017 TINTAYA JACK THOMAS	\$91.88
2017 TINTAYA SAMUEL JAMES	\$178.71
2017 TURNER KEVIN LEE	\$56.06
2017 TURNER MICHAEL T	\$54.13
2017 VANNESS DAVID ALAN	\$171.78
2017 VIANDS MACKENZIE L	\$89.76
2017 VICHARE SAPTARSHI VIVEK	\$46.97
2017 VINCENT TIMOTHY G	\$86.54
2017 VIOLETTE ASHLEY M	\$6.86
2017 VIRGINIA SIDING INC	\$37.55
2017 WALKER AMANDA L	\$82.76
2017 WATKINS MEGHAN N	\$214.94
2017 WATSON-KEISTER MICHELLE ANNE	\$109.88
2017 WATTS JAMES K	\$90.23
2017 WEAGLEY TINA LYNN D	\$99.80
2017 WEBB AND SONS CONSTRUCTION INC	\$139.25
2017 WELLS KATHY J	\$9.85
2017 WELTON KRISTEN JILL V	\$205.05
2017 WESTERGARD CASSANDRA N	\$12.70
2017 WHALEN GABRIELLE FRANCES	\$155.62
2017 WHEELER BOBBY JOE JR	\$5.78
2017 WHITE MATTHEW D	\$240.59
2017 WHITE TAYLOR BARTON	\$95.08
2017 WHITEHEAD KRISTINA M	\$108.56
2017 WHITEHEAD SARAH E	\$87.54
2017 WILHITE KAYLA S	\$114.62
2017 WILLINGHAM DOROTHY LEE	\$7.15
2017 WOODWARD ROGER W	\$4.68
2017 WRIGHT JEREMY T	\$43.36
2017 XCL TITLING TRUST	\$358.97

\$23,484.58

DELINQUENT PERSONAL PROPERTY TAXES

2012	4330.13
2012 (to be charged off)	-4330.13
2013	4050.68
2014	3112.34
2015	4915.4
2016	13443.52
2017	<u>23484.58</u>
	49006.52

DELINQUENT REAL ESTATE TAXES

DELINQUENT TAX REPORT-JULY 2, 2017

1995-2004 DELINQUENT REAL ESTATE

2004 WILLIAMS GEORGE ESTATE	\$4,691.42
	\$4,691.42

2005 DELINQUENT REAL ESTATE

2005 HARRIS-PROCTOR LINDA	\$91.49
2005 WILLIAMS GEORGE ESTATE	\$230.22
	\$321.71

2006 DELINQUENT REAL ESTATE

2006 HARRIS-PROCTOR LINDA	\$191.30
2006 WILLIAMS GEORGE ESTATE	\$455.08
	\$646.38

2007 DELINQUENT REAL ESTATE

2007 HARRIS-PROCTOR LINDA	\$188.08
2007 WILLIAMS GEORGE ESTATE	\$1,214.52
	\$1,402.60

2008 DELINQUENT REAL ESTATE

2008 HARRIS-PROCTOR LINDA	\$164.90
2008 WILLIAMS GEORGE ESTATE	\$862.66
	\$1,027.56

2009 DELINQUENT REAL ESTATE

2009 HARRIS-PROCTOR LINDA	\$161.71
2009 TRI COUNTY FARM SERVICES LLC	\$237.79
2009 WILLIAMS GEORGE ESTATE	\$2,359.17
	\$2,758.67

2010 DELINQUENT REAL ESTATE

2010 HARRIS-PROCTOR LINDA	\$93.34
2010 TRI COUNTY FARM SERVICES LLC	\$414.08
2010 WILLIAMS GEORGE ESTATE	\$442.32
	\$949.74

2011 DELINQUENT REAL ESTATE

2011 HARRIS-PROCTOR LINDA	\$89.88
2011 LABADIE RICKY	\$15.05
2011 MOTEN CONSTANCE	\$69.68
2011 TRI COUNTY FARM SERVICES LLC	\$398.12
2011 WILLIAMS GEORGE ESTATE	\$1,229.46
	\$1,802.19

2012 DELINQUENT REAL ESTATE

2012 HARRIS-PROCTOR LINDA	\$89.50
2012 LABADIE RICKY	\$245.50
2012 MOTEN CONSTANCE	\$181.12
2012 TRI COUNTY FARM SERVICES LLC	\$378.86
2012 WILLIAMS GEORGE ESTATE	\$911.08
2012 WOODRUFF WILLIAM	\$2,322.63
	\$4,128.69

2013 DELINQUENT REAL ESTATE

2013 HARRIS-PROCTOR LINDA	\$87.00
2013 LABADIE RICKY	\$234.56
2013 MOTEN CONSTANCE	\$174.02
2013 TRI COUNTY FARM SERVICES LLC	\$360.00
2013 WILLIAMS GEORGE ESTATE	\$755.68
	\$1,611.26

2014 DELINQUENT REAL ESTATE

2014 FRANKMANN HARRY C LIVING TRUST	\$192.65
2014 HARRIS-PROCTOR LINDA	\$95.20
2014 LABADIE RICKY	\$254.26
2014 MOTEN CONSTANCE	\$187.56
2014 REAVIS MICHAEL	\$124.09
2014 TRI COUNTY FARM SERVICES LLC	\$391.64
2014 WILLIAMS GEORGE ESTATE	\$765.21
	\$2,010.61

2015 DELINQUENT REAL ESTATE

2015 FRANKMANN HARRY C LIVING TRUST	\$316.38
2015 HARRIS-PROCTOR LINDA	\$116.18
2015 LABADIE RICKY	\$316.38
2015 MOTEN CONSTANCE	\$232.06
2015 REAVIS MICHAEL	\$314.72
2015 TRI COUNTY FARM SERVICES LLC	\$492.16
2015 WILLIAMS GEORGE ESTATE	\$485.19
	\$2,273.07

2016 DELINQUENT REAL ESTATE

2016 ALLEN FENTON ESTATE	\$73.63
2016 FRANKMANN HARRY C LIVING TRUST	\$245.11
2016 HARRIS-PROCTOR LINDA	\$82.39
2016 HOLMES CHARLES A JR	\$21.59
2016 HOLMES CHARLES H ET AL	\$189.65
2016 JACKSON EFFIE H & WALTER H	\$53.21
2016 LABADIE RICKY	\$245.11
2016 MOTEN CONSTANCE	\$82.39
2016 PEFFER SCOTT B	\$243.58
2016 REAVIS MICHAEL	\$1,586.88
2016 RILEY MEADOWS STABLES LLC	\$158.06
2016 TAYLOR ROSS CHARLES III & LORI B	\$1,065.02
2016 TRI COUNTY FARM SERVICES LLC	\$463.82
2016 WILLIAMS GEORGE ESTATE	\$1,491.33
2016 WOODRUFF WILLIAM	\$33.07
	\$6,034.84

2017 DELINQUENT REAL ESTATE

2017 ALLEN FENTON ESTATE	\$246.68
2017 BARB ROBERT GERALD	\$2.88
2017 BUCK CHARLES U	\$10.28
2017 FRANKMANN HARRY C LIVING TRUST	\$211.88
2017 HARRIS-PROCTOR LINDA	\$67.50
2017 HOLMES CHARLES A JR	\$273.84
2017 HOLMES CHARLES H ET AL	\$261.06
2017 JACKSON EFFIE H & WALTER H	\$266.90
2017 KEEFE NEIL J & BOBBIE J TRUSTS	\$549.31
2017 LABADIE RICKY	\$211.88
2017 MASON JEANNIE C	\$81.46
2017 MERCER SCOTT A	\$299.18
2017 MOTEN CONSTANCE	\$67.50
2017 NELSON JACOB ESTATE	\$36.31
2017 OLIVER THOMAS HUNTON	\$146.13
2017 PEFFER SCOTT B	\$210.64
2017 REAVIS MICHAEL	\$867.28
2017 RILEY MEADOWS STABLES LLC	\$134.80
2017 STARSHIP 14221 LLC	\$6.29
2017 TAYLOR ROSS CHARLES III & LORI B	\$939.60
2017 TRI COUNTY FARM SERVICES LLC	\$406.06
2017 WILLIAMS GEORGE ESTATE	\$831.36
2017 WOODRUFF WILLIAM	\$56.26
	\$6,185.08

2018 DELINQUENT REAL ESTATE

2018 ALLEN FENTON ESTATE	\$115.59
2018 BARB ROBERT GERALD	\$309.46
2018 BUCK CHARLES U	\$212.42
2018 CHAUDHRY ZAHID	\$582.59
2018 CRISP JACOB N & KAREN EVANS	\$511.68
2018 ELMORE NOBLE N JR	\$93.88
2018 FANNING JENNIFER D	\$150.68
2018 FERRELL FRANCES P	\$210.22
2018 FRANKMANN HARRY C LIVING TRUST	\$99.26
2018 GILLISON MARY L	\$117.91
2018 GUNNER HOLDINGS LLC	\$1,011.13
2018 HARRIS-PROCTOR LINDA	\$31.61
2018 HOLMES CHARLES A JR	\$205.97
2018 HOLMES CHARLES H ET AL	\$122.34
2018 HPA BORROWER 2016-2 ML LLC	\$398.51
2018 HUYNH TUYET LE PHAM	\$436.97
2018 JACKSON EFFIE H & WALTER H	\$125.08
2018 JDM TRANSPORT LLC	\$212.00
2018 JOHNSON GEORGE F JR	\$93.78
2018 KAYLOR DOUGLAS ALLEN	\$139.09
2018 KEEFE NEIL J & BOBBIE J TRUSTS	\$526.01
2018 KELLEY PATSY C WHITE	\$21.00
2018 KELLEY PATSY C WHITE	\$2.40
2018 KERBY JULIE ROBIN & RICHARD ALAN	\$104.21
2018 LABADIE RICKY	\$99.26
2018 MASON JEANNIE C	\$98.62
2018 MCCAY EMILY ERIN	\$306.83
2018 MEADE CHARLES RONALD & TERIN D	\$438.24
2018 MERCER SCOTT A	\$38.78
2018 MERCER SCOTT A	\$247.72
2018 MOTEN CONSTANCE	\$31.61
2018 NELSON JACOB ESTATE	\$34.78
2018 O'DONNELL THOMAS R & LORIE E	\$386.50
2018 OHIGGINS STEELE T	\$142.98
2018 OHIGGINS STEELE T	\$47.42
2018 OLIVER THOMAS HUNTON	\$139.94
2018 PAIGE ALBERT ESTATE	\$26.87
2018 PAPPADAKIS ANDY H & SALLY L CRAIG	\$203.78
2018 PAYNE CHARLES M	\$102.94
2018 PEPPER SCOTT B	\$98.74
2018 POTTS ROY E III & PATRICIA R	\$106.43
2018 REAVIS MICHAEL	\$325.99
2018 RILEY MEADOWS STABLES LLC	\$63.22
2018 SCHILLING EDWARD L & JOANNA CHOPSK	\$553.94
2018 SMITH GLORIA ET AL	\$83.87

2018 SMITH LIONEL MCNEIL	\$150.99
2018 STARSHIP 14221 LLC	\$148.67
2018 TAYLOR ROSS CHARLES III & LORI B	\$440.34
2018 THOMAS NOLAN B & COREY D	\$150.78
2018 TOWNSEND DONALD P II & JOANNA SUE	\$158.69
2018 TRI COUNTY FARM SERVICES LLC	\$190.30
2018 TURNER MICHAEL M & DAGMAR OLGA	\$214.63
2018 WILLIAMS GEORGE ESTATE	\$353.55
2018 WINDISCH SUSAN & EDWARD F	\$84.30
2018 WOODRUFF WILLIAM	\$26.35
	\$11,330.85

DELINQUENT REAL ESTATE TAXES

1995-2004	4691.42
2005	321.71
2006	646.38
2007	1402.6
2008	1027.56
2009	2758.67
2010	949.74
2011	1802.19
2012	4128.69
2013	1611.26
2014	2010.61
2015	2273.07
2016	6034.84
2017	6185.08
2018	<u>11330.85</u>

TOTAL	47174.67
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Attachment 9



Berryville Police Department

101 Chalmers Ct., Suite A, Berryville, Virginia 22611

policeadmin@berryvilleva.gov

(540) 955-3863 (540) 955-0207 (Fax)

W. Neal White – Chief of Police

MEMO

DATE: 06/26/2018

TO: Town Council

FROM: Chief W. Neal White

CC:

RE: Police Department Monthly Report – 07/10/2018

Monthly Activity Report

The activity report for the month of June 2018 is attached to this memo.

Police and Security Committee

The Police and Security Committee did not meet in the month of June. The next scheduled meeting for the Committee is July 26, 2018 at 9:00 am in the A/B meeting room.

Department Staff

Gregory Voorhees transitioned from part-time employment to full-time effective July 4, 2018. Greg has volunteered as an Auxiliary Officer and worked part-time for the department. He has over fifteen years of law enforcement experience in the Commonwealth of Virginia and brings a wealth of knowledge to the department.

National Night Out

The police department will again be sponsoring National Night Out in Rose Hill Park on August 7, 2018. There will be a variety of family friendly events taking place along with informational booths from a variety of local agencies. We look forward to another great community event in Rose Hill Park.



Berryville Police Department

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W. Neal White – Chief of Police

Police and Security Report

	Year To Date	June	May
Month: June	2018	2018	2018
Year: 2018			
<u>Complaints Answered</u>			
911 Hang Up:	8	1	4
Alarms:	90	17	14
Animal Complaint:	60	12	18
Assault and Battery:	5	4	0
Assist County:	15	1	3
Auto Larceny:	0	0	0
Burglary:	6	0	0
Civil Complaints:	36	8	6
Disturbance (Non Violent):	12	1	3
Domestic Disturbance:	16	3	0
Drunk In Public:	5	1	1
Forgery & Uttering:	0	0	0
Fraud:	15	1	1
Larceny:	23	2	10
Harassment/Intimidation:	14	3	3
Homicide:	0	0	0
Juvenile Related:	15	4	3
Noise:	21	2	2
Public Service:	9	2	2
Rape:	0	0	0
Robbery:	0	0	0
Runaway:	0	0	0
Shoplifting:	0	0	0
Suspicious Activity:	93	20	21
Trespassing:	4	0	1
Vandalism:	24	1	6
Welfare Check:	75	10	11
Miscellaneous Complaints:	383	76	59
Total Complaints Answered:	929	169	168



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W. Neal White – Chief of Police

Police and Security Report (Continued)

	Year To Date 2018	June 2018	May 2018
<u>Traffic</u>			
Accidents Investigated:	26	3	6
Assist Motorist:	8	1	4
Child Safety Seat Install:	2	0	1
Funeral Escort:	22	8	1
Hit & Run:	1	0	0
Parking Tickets:	64	9	12
Traffic Warnings:	325	46	51
<u>Traffic Summons Issued</u>			
Defective Equipment:	1	0	0
Driving Suspended:	7	1	4
Expired Inspection:	32	6	4
Expired Registration:	8	3	2
Fail to Obey Highway Sign:	55	13	11
Fail to Obey Traffic Signals:	5	1	0
Fail to Stop/Lights & Siren:	0	0	0
Fail to Yield Right of Way:	3	0	1
Hit and Run:	0	0	0
No Liability Insurance:	0	0	0
No Operator's License:	9	0	2
No Seat Belt:	0	0	0
Reckless Driving:	3	1	0
Speeding:	82	12	12
Miscellaneous Summons:	11	0	4
Total Traffic Summons Issued:	216	37	40
<u>Found Open at Businesses in Town</u>			
Doors:	6	0	1
Windows:	0	0	0
Garage Doors:	0	0	0



Berryville Police Department

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W. Neal White – Chief of Police

Police and Security Report (Continued)

	Year To Date 2018	June 2018	May 2018
<u>Criminal Arrests Made</u>			
Abduction:	0	0	0
Arson:	0	0	0
Assault and Battery:	3	2	0
Assault and Battery on Police Officer:	0	0	0
Auto Larceny:	0	0	0
Breaking and Entering:	0	0	0
Capias:	9	1	1
Disorderly Conduct:	0	0	0
Driving While Intoxicated:	4	1	0
Drunk In Public:	3	1	0
Fail to Obey Police Officer:	1	0	0
Fail to Pay Parking Ticket:	7	0	0
Forgery:	0	0	0
Fraud:	0	0	0
Grand Larceny:	0	0	0
Homicide:	0	0	0
Illegal Drugs/Paraphernalia:	2	0	0
Petty Larceny:	0	0	0
Possess Alcohol Underage:	1	0	0
Protective Order Violations:	0	0	0
Rape:	0	0	0
Resisting Arrest:	0	0	0
Robbery:	0	0	0
Shoplifting:	0	0	0
Trespassing:	0	0	0
Vandalism:	0	0	0
Weapons Violation:	0	0	0
Miscellaneous Criminal Arrests:	25	8	6
Juvenile Detention Order Totals:	0	0	0
Total Criminal Arrests:	55	13	7

Attachment 10

BERRYVILLE TOWN COUNCIL
MOTION TO SUSPEND TANKER TASK FORCE

Date: July 10, 2018

Motion By:

Second By:

I move that the Council of the Town of Berryville suspend the tanker task force on _____ and direct the Town Manager to send a letter of thanks to the Director of Fire, EMS, and Emergency Management for the County of Clarke, Brian Lichty.

VOTE:

Aye:

Nay:

Absent:

ATTEST:

Harry Lee Arnold, Jr., Recorder

BERRYVILLE TOWN COUNCIL
MOTION TO CONTINUE THE TANKER TASK FORCE

Date: July 10, 2018

Motion By:

Second By:

I move that the Council of the Town of Berryville continue the tanker task force through _____ and authorize payment to the Department of Fire, EMS and Emergency Management for the County of Clarke, Virginia for said service, from the water contingency fund.

VOTE:

Aye:

Nay:

Absent:

ATTEST:

Harry Lee Arnold, Jr., Recorder

Memo

To: Town Council
From: David Tyrrell
Date: July 5, 2018
Re: June 2018 Operations Report

The water treatment plant is in compliance for June 2018 with its monthly parameters. We sent 10.460 MG of water to the system with a daily average of 0.349 MGD and a daily max of 0.498 MG.

SUEZ Utility Service continues to work on the 3MG interior. Additional issues were discovered as the interior side walls were blasted at the top of the tank requiring repair. Funds for the needed repairs were approved by council and work is underway to amend the contract. Work to remove the truckloads of blast material from the tank has begun with one issue. We have had a citizen complaint about the temporary on-site storage of spent blast material. The complaint was referred to DEQ as a Hazmat incident. The citizen is concerned about chloride, fluoride, lead, copper, and bacterial contamination of the ground water by onsite storage of spent blast media. DEQ has closed the complaint as "no violation." This incident has delayed the project a week while SUEZ reviewed procedures and while the incident was being investigated by DEQ. With the DEQ resolution, work is expected to resume on Monday with site cleanup and removal of stored materials.

In connection with the 3MG tank project, Clarke County Department of Fire, EMS, and Emergency Management has been providing a tanker response to fire events within the Town limits that the Town has funded. \$15,000 was allocated by the Town Council to ensure this service was available during the 3MG tank maintenance cycle. We have received notice that this service will run out of funding in three weeks, see attached letter. Should council wish to continue this service, additional funding needs to be allocated. The Tanker Task Force ensures a ready and available water supply in the event of a fire and allows Town personnel time to adjust the water system to provide for fire flows should an emergency occur. The cost of this service is about \$1,100 per week and I estimate at least an additional six weeks of work on the tank is ahead.

24-Hour coverage at the WTP continues with challenges. Operations this month have again been difficult due to storm conditions and flooding as we dealt with two additional

flood events. Water treatment has required constant attention and adjustment but staff has been able to produce quality water under difficult conditions.

We were fortunate with the two flood issues in June as drawing water from the river was not hampered by debris. However, we lost two river pump motors at the end of June by what could only be a lightning strike. Pump #1 lost its windings and pump #3 had a hole burnt into the side of the motor which allowed water into the pump casing. Broy and Son was called and due to special arrangements they have with the manufacturer, we had two new motors flown in same day for no additional cost and installation completed.

We also had a customer complaint about dirty water in the distribution system which affected Chalmers Court. About an hour of low velocity flushing was required to clear the condition which cannot be explained.

Drought Conditions: There are no concerns for drought at this time.

The wastewater plant is in compliance with its discharge permit for June per data received to date. We treated a total of 37.15 MG with a daily average of 1.24 MGD and a daily max of 2.38 MG. Our dry weather flows at the wastewater plant are around 0.3 MGD for comparison.

Operations at the STP have been all but routine. High flows again created surcharge conditions in the sewer collection system by the WWTP which was reported to DEQ. We estimate that we pumped about 1.5 MGD of raw wastewater to the old North Lagoon for storage to be treated later. We were more fortunate with the second flooding event in that we were able to manipulate pumping and equalization levels to use the collection system for storage and keep the system from surcharging until the system could catch up. No additional flow was sent to the lagoon with the second flood event of the month.

We continue to change our process from winter to summer mode with an increase in the wasting of biosolids.

I must again tout the work my staff has done this month as conditions have been worse than last month with two additional flood events. We are now two people short in staffing and yet they continue to work to meet great water quality standards for both facilities.

Attached for review is the letter from Clarke County Department of Fire, EMS, and Emergency Management, the DMR report for the wastewater plant with data received to date, and the water plant page 1 operations report for VDH. There is no report on membrane systems this month due to an issue with communications with the manufacture. We are working to resolve the problem which is most likely created by adding additional security to our VPN connection.



County of Clarke, Virginia
Department of Fire, EMS and Emergency Management
Director Brian Lichty

July 3rd, 2018

Keith Dalton
Town Manager
Town of Berryville
101 Chalmers Court
Suite A
Berryville, VA 22611

Dear Mr. Dalton,

As you are aware your agency elected to spend up to \$15,000 for a tanker driver during the town's scheduled water maintenance project. This cost was dedicated to providing a career driver from the hours of 0600 to 1800 daily Monday thru Friday each week.

I am pleased to inform you that we have been able to provide this service for the town for the past 11 weeks. I estimate in order to avoid exceeding the allocated funding we will only be able to support this position for another 3 weeks (14 weeks in total). Therefore, this staffing will end on Friday July 27th, 2018.

Should any additional funding be allocated, this position could continue. If you or others in your agency have any questions please feel free to contact me.

Brian Lichty
Director Fire, EMS and
Emergency Management

cc: David Ash, County Administrator

Flows and Chemical Dosages

march 2018

No. Connections Served: 1660
Population Served: 4185

DATE	Raw Water Treated MGD	Finished Water Produced MGD	Finished Water Delivered MGD	Hours in Service	Raw Water Chemicals					Finished Water Chemicals												
					Alum	Carbon	Chlorine	Fluoride	Polymer	KMnO4	Soda Ash	Chlorine	Corr Inhibitor									
	Lbs per Day	Lbs per Day	Lbs per Day		mg/L	Lbs per Day	mg/L	Lbs per Day	mg/L	Lbs per Day	mg/L	Lbs per Day	mg/L	Lbs per Day	mg/L	Lbs per Day	mg/L					
1	0.367		0.327	10.5	51	4	1.2	6.9	2.25	0.060	0.016	6	1.9	12.5	4.1							
2	0.387		0.327	10.3	66	4	1.2	3.2	0.99	0.060	0.019	5.8	1.8	20.3	6.3							
3	0.389		0.347	11.0	46	2	0.7	3.5	1.09	0.062	0.019	6.2	1.9	14.1	4.3							
4	0.49		0.411	15.0	157	4	0.9	6.7	1.64	0.075	0.018	8.4	2.1	23.4	5.7							
5	0.39		0.328	10.5	218	4	1.1	3.5	1.09	0.146	0.045	0.0	0.0	23.4	7.2							
6	0.415		0.354	12.0	66	3	0.9	6.6	1.91	0.062	0.018	9.0	2.6	15.6	4.5							
7	0.326		0.284	10.0	66	3	1.0	3.7	1.36	0.040	0.015	0.0	0.0	23.4	8.6							
8	0.503		0.458	14.7	56	4	1.0	3.3	0.79	0.080	0.019	11.0	2.6	15.6	3.7							
9	0.344		0.299	9.7	36	3	1.0	6.9	2.41	0.060	0.021	7.3	2.5	14.1	4.9							
10	0.389		0.350	13.0	35	3	0.9	3.2	0.99	0.062	0.019	9.7	3.0	17.2	5.3							
11	0.41		0.361	11.5	5	4	1.1	3.6	1.05	0.062	0.018	8.6	2.5	15.6	4.6							
12	0.401		0.369	12.0	76	22.7	3	6.6	1.97	0.062	0.018	9.0	2.7	15.6	4.7							
13	0.421		0.367	13.5	30	8.7	2	3.5	1.00	0.062	0.018	0.0	0.0	15.6	4.5							
14	0.346		0.300	11.0	91	31.6	2	6.6	2.29	0.071	0.024	0.0	0.0	7.8	2.7							
15	0.419		0.372	13.0	51	14.5	5	3.5	0.99	0.057	0.016	9.7	2.8	15.6	4.5							
16	0.417		0.371	12.5	56	16.0	3	3.5	1.02	0.064	0.018	9.4	2.7	15.6	4.5							
17	0.294		0.267	9.0	35	14.5	2	6.9	2.82	0.046	0.019	6.7	2.7	15.6	6.4							
18	0.572		0.498	16.5	51	10.6	4	3.3	0.69	0.071	0.015	12.3	2.6	15.6	3.3							
19	0.101		0.349	12.5	30	36.1	3	6.6	7.84	0.057	0.068	0.0	0.0	15.6	18.5							
20	0.65		0.319	11.0	30	5.6	9	3.5	0.65	0.057	0.011	0.0	0.0	15.6	2.9							
21	0.414		0.385	13.0	56	16.2	4	3.6	1.04	0.079	0.023	9.7	2.8	15.6	4.5							
22	0.397		0.347	11.8	35	10.7	2	3.4	1.03	0.050	0.015	8.8	2.7	15.6	4.7							
23	0.328		0.285	10.0	71	25.9	3	6.6	2.40	0.056	0.020	7.5	2.7	15.6	5.7							
24	0.379		0.337	11.0	81	25.7	3	3.5	1.12	0.062	0.020	8.2	2.6	15.6	4.9							
25	0.408		0.364	12.0	86	25.3	4	7.0	2.05	0.068	0.020	0.0	0.0	15.6	4.6							
26	0.349		0.317	10.5	35	12.2	3	3.1	1.08	0.049	0.017	7.9	2.7	15.6	5.4							
27	0.445		0.398	12.0	51	13.7	4	3.6	0.97	0.073	0.020	0.0	0.0	23.4	6.3							
28	0.363		0.321	11.0	35	11.7	3	3.5	1.15	0.057	0.019	0.0	0.0	15.6	5.2							
29	0.405		0.361	12.0	30	9.0	3	6.6	1.95	0.065	0.019	9.0	2.7	23.4	6.9							
30	0.314		0.287	9.3	20	7.7	4	3.4	1.31	0.053	0.020	6.9	2.6	10.9	4.2							
31																						
Total	11.833	0.000	10.460	351.7	1754	556.4	103	33.2	0.0	0.00	48.9	1.92	0.627	177	53.2	0.0	0.00	495.3	###	0.0	0.00	
Maximum	0.650	0.000	0.498	16.5	218	67.0	9	3.8	0.0	0.00	7.0	7.8	0.15	0.068	12	3.0	0.0	0.00	23.4	18.55	0.0	0.00
Minimum	0.101	0.000	0.267	9.0	5	1.5	2	0.6	0.0	0.00	3.1	0.6	0.04	0.011	0	0.0	0.0	0.00	7.8	2.71	0.0	0.00
Average	0.394	0.000	0.349	11.7	58	18.5	3	1.1	###	###	4.6	1.6	0.06	0.021	6	1.8	###	#DIV/0!	16.5	5.45	###	###

SIGNED: (OPERATOR IN RESPONSIBLE CHARGE)

RAW WATER SOURCE(S) USED DURING MONTH: (SOURCE/DATES)

PRINTED NAME

Shenandoah River - Entire Month

David A. Tyrrell

TITLE: OPERATOR CLASSIFICATION
DPOR CERTIFICATION NO.

Class 1
1955002813

Berryville STP Monthly DMR Data

June 2018

Date	Effluent Flow MGD	Eff pH SU	Eff Temp Deg C	Eff CBOD mg/l	Eff CBOD KG/D	Eff TSS mg/l	Eff TSS KG/D	Effluent DO River mg/l	Effluent DO WWTP mg/l	Eff NO2/ NO3 mg/l	Eff TKN mg/l	Eff TKN KG/D	Eff Total N mg/l
6/1/2018	0.64	7.3	19.0					9.1	8.9				
6/2/2018	1.48	7.4	20.8					9.4	8.8				
6/3/2018	2.38	7.7	20.1					9.6	9.3				
6/4/2018	2.27	7.9	19.4					9.3	9.3				
6/5/2018	2.20	7.8	19.6	3.00	24.94	0.00	0.00	8.9	8.6	3.07	1.15	9.56	4.22
6/6/2018	1.89	7.8	19.2	0.00	0.00			9.5	9.0				
6/7/2018	1.41	7.5	19.0	0.00	0.00			9.8	9.2	0.00	1.24	6.59	1.24
6/8/2018	1.28	7.6	19.0					9.3	8.7				
6/9/2018	1.12	7.6	19.7					8.7	9.6				
6/10/2018	0.75	7.6	19.6					9.0	10.0				
6/11/2018	1.35	7.4	19.3					8.9	8.5				
6/12/2018	1.40	7.8	19.2	1.00	5.31			9.0	8.6	2.26	1.21	6.43	3.47
6/13/2018	0.95	7.7	19.6	0.00	0.00			8.7	8.3				
6/14/2018	0.63	7.6	19.4	2.00	4.76			8.9	8.5	1.62	1.37	3.26	2.99
6/15/2018	0.65	7.7	20.1					8.6	8.3				
6/16/2018	0.70	7.6	20.3					9.4	9.6				
6/17/2018	0.60	7.6	20.7					9.6	9.2				
6/18/2018	0.62	7.5	21.3					8.9	8.7				
6/19/2018	0.59	7.5	21.6	3.00	6.73			9.6	8.9	2.51	1.35	3.03	3.86
6/20/2018	0.61	7.5	21.9	1.00	2.29			9.6	8.9				
6/21/2018	0.62	7.5	21.5	1.00	2.35			9.1	8.9	2.49	1.36	3.19	3.85
6/22/2018	1.34	7.6	21.6					9.3	8.6				
6/23/2018	1.98	7.6	20.8					9.3	9.2				
6/24/2018	2.34	7.7	20.9					10.0	10.1				
6/25/2018	2.03	7.6	20.5					8.9	8.8				
6/26/2018	1.59	7.6	20.8					9.6	9.0				
6/27/2018	1.20	7.7	20.5					9.5	9.2				
6/28/2018	0.81	7.7	20.5					10.0	8.7				
6/29/2018	0.85	7.7	20.6					8.5	8.5				
6/30/2018	0.89	7.5	21.4					9.4	9.2				
Minimum	0.59	7.3	19.0	0.00	0.00	0.00	0.00	8.5	8.3	0.00	1.15	3.03	1.24
Maximum	2.38	7.9	21.9	3.00	24.94	0.00	0.00	10.0	10.1	3.07	1.37	9.56	4.22
Total	37.15	228.3	607.9	11.00	46.38	0.00	0.00	277.4	269.1	11.95	7.68	32.07	19.63
Average	1.24	7.6	20.3	1.22	5.15	0.00	0.00	9.2	9.0	1.99	1.28	5.34	3.27
Geo Mean	1.10	7.6	20.2	1.38	3.05	1.00	1.00	9.2	9.0	2.03	1.3	4.84	3.05

Berryville STP Monthly DMR Data

June 2018

Date	Eff Total N	Eff Total P	Eff Total P	E-Coli
	KG/D	mg/l	KG/D	No/100ml
6/1/2018				
6/2/2018				
6/3/2018				
6/4/2018				
6/5/2018	35.13	0.04	0.33	1
6/6/2018				
6/7/2018	6.60	0.05	0.27	
6/8/2018				
6/9/2018				
6/10/2018				
6/11/2018				
6/12/2018	18.47	0.27	1.44	1
6/13/2018				
6/14/2018	7.13	0.01	0.02	
6/15/2018				
6/16/2018				
6/17/2018				
6/18/2018				
6/19/2018	8.68	0.09	0.20	1
6/20/2018				
6/21/2018	9.05	0.13	0.31	
6/22/2018				
6/23/2018				
6/24/2018				
6/25/2018				
6/26/2018				
6/27/2018				
6/28/2018				
6/29/2018				
6/30/2018				
Minimum	6.60	0.01	0.02	1
Maximum	35.13	0.27	1.44	1
Total	85.06	0.59	2.57	3
Average	14.18	0.10	0.43	1
Geo Mean	11.57	0.06	0.24	1

Attachment 11

Report of the Department of Public Works

July 5, 2018

Water

Public Works conducted the scheduled water interruption on June 16th to install a valve and remove an old fire hydrant for the Rice Street water improvement project. The shutdown went as planned and the water was off for approximately four hours. We are in the process of installing the base asphalt in the road crossing's and plan to have all crossing's completed by July 9th.

Sewer

We experienced a couple of issues with the South Buckmarsh Street pump station last month. During the heavy rain the station experienced an increase in daily inflow. I am fairly certain that a large portion of the flow increase was due to sump pumps being connected to the sanitary system.

On Thursday June 28th we discovered that one of the pumps at South Buckmarsh Station was not working. We found the problem to be in the vacuum pump. We replaced the vacuum pump and the sewer pump was put back into operation. While working on the damaged pump we observed the other vacuum pump was experiencing issues, we decided to replace that pump as well. The pump station is now functioning normally.

General Information

On the 25th of June we opened up bids for the annual Paving, Milling, and Line Striping contracts. We had five paving contractor's submit bids for the projects. Bids were lower than the projected amount. W.L. Construction was the apparent low bidder. They were the low bidder of last year's paving contracts and we were pleased with their workmanship and finished product. I am looking forward to working with them on this year's contract.